

PRELIMINARY PLAT
COBBLECREEK TOWNHOMES
~230 NORTH 800 EAST
CITY COUNCIL MEETING
AUGUST 16, 2018

Utilities:

All are available in this area. A sewer and irrigation main runs down the West side of the highway. Water and electrical lines are available on the East side of the Highway.

Roads:

These will be private roads within the development. They will need to complete a UDOT access permit for this change of use.

Signage:

They will have an entrance sign.

Fencing: Vinyl fence around the North & South sides of the development. East side should be added also because of the need for separation from industrial businesses.

Landscaping:

To meet multi-family code requirements. 1 Tree per 1000 sq. ft. Playground equipment required. (More than 12 units)

HOA: See attachment.

Other:

The layout was changed, as per conversation with the City Council last month by reducing the commercial pads down to two in the front portion and aligning the entrance with Anderson Avenue. They will also be demolishing the one row of storage units on this parcel of property. The Planning Commission recommends approval with the following conditions: Buildings architectural design are as shown, vinyl fencing on north, south, & east, decorative four-foot fence across the front of townhomes (west side), landscaping meet code- 2inch caliper-30% evergreens-etc., show playground equipment with final plat, commercial area irrigated and maintained until developed (city provide reasonable priced water- culinary at irrigation price if needed)

Cobble Creek Townhomes

27 units @ \$65 HOA Fee = \$1,755.00 monthly

1,755.00 x 12 = \$21,060 yearly

Estimated Operating

Fixed \$300 Hyrum

Fixed \$300 Insurance

Snow Removal

\$60 Monthly

Lawn Care/Maintenance

\$350 Monthly

Mis.

HOA Management Fee \$5 unit @24

Fixed \$120 Monthly

Total estimated Operating monthly \$300 (Hyrum Util.) + 300 (Insurance) + 120 (HOA Fee) + 205 (lawn care and

\$925

1,755

-925

Total average monthly operating

830

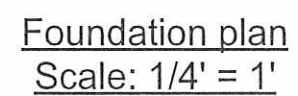
operating \$1,050 (12 month = \$12,600)

reserve \$705 (12 month = \$8,460)

each sale \$400 + 27 units \$ 10,800.00

reserve total after year 1 buildout = \$19,260.00

operating balance total after year 1 buildout = \$1,500.00



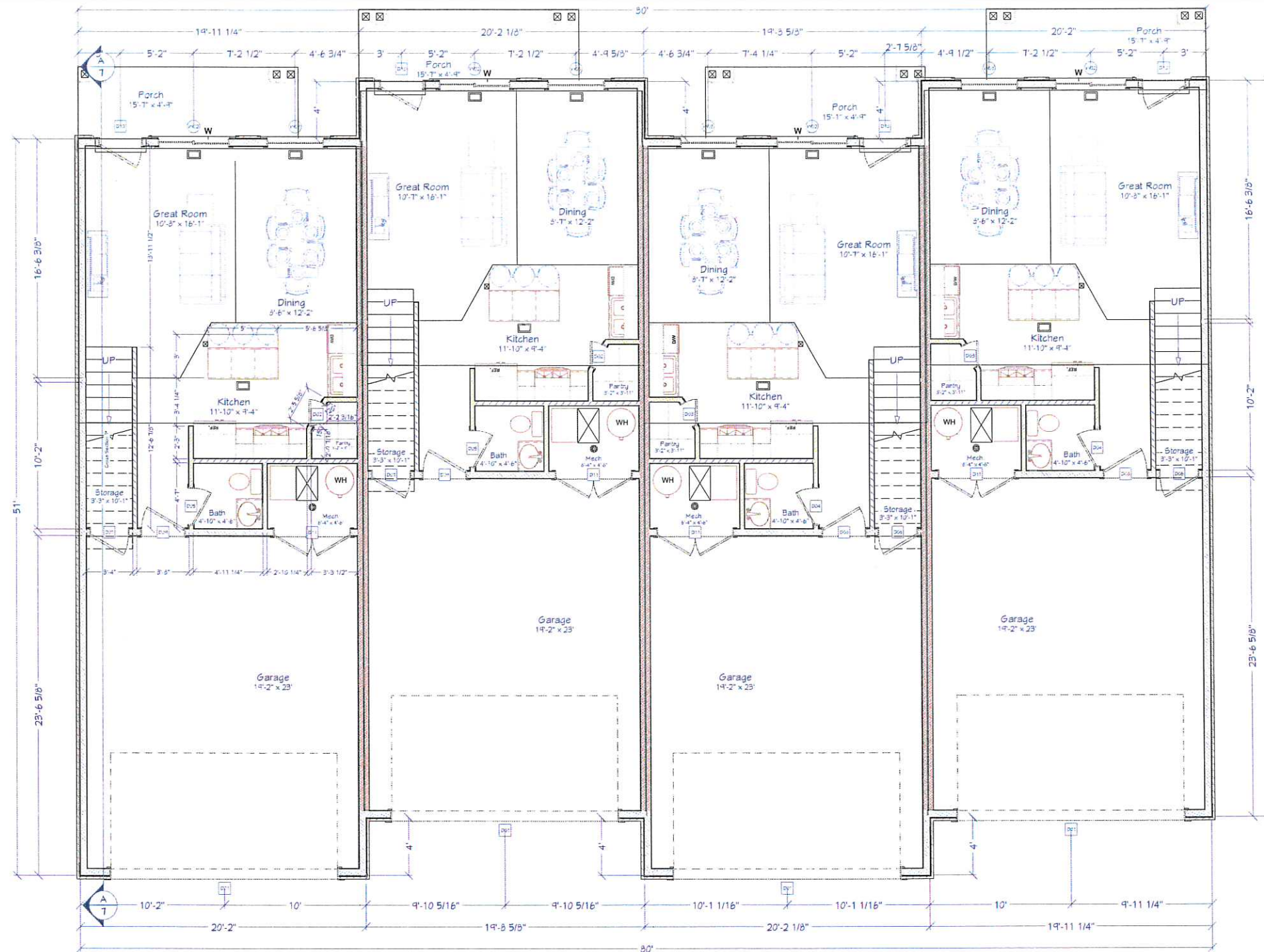
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Foundation plan

MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	4	1	16050	142"x96"x1 3/4"	194"x99"
D02	2	1	1665 L IN	20"x30"x1 3/8" L IN	22"x32 1/2"
D03	2	1	1665 R IN	20"x30"x1 3/8" R IN	22"x32 1/2"
D04	2	1	2665 L IN	30"x30"x1 3/8" L IN	32"x32 1/2"
D05	2	1	2665 R IN	30"x30"x1 3/8" R IN	32"x32 1/2"
D06	2	1	2665 L EX	32"x30"x1 3/4" L EX	34"x33"
D07	2	1	2665 R EX	32"x30"x1 3/4" R EX	34"x33"
D08	2	1	3065 L EX	36"x30"x1 3/4" L EX	38"x33"
D09	2	1	3065 R EX	36"x30"x1 3/4" R EX	38"x33"
D10	4	1	3075	36"x42"	36"x42"
D11	4	1	5465 L/R EX	(2) 32"x30"x1 3/8" L/R EX	66"x33"
D12	2	2	2065 L IN	24"x30"x1 3/8" L IN	26"x32 1/2"
D13	2	2	2065 R IN	24"x30"x1 3/8" R IN	26"x32 1/2"
D14	2	2	2465 L IN	28"x30"x1 3/8" L IN	30"x32 1/2"
D15	2	2	2465 R IN	28"x30"x1 3/8" R IN	30"x32 1/2"
D16	2	2	2865 L IN	32"x30"x1 3/8" L IN	34"x32 1/2"
D17	2	2	2865 R IN	32"x30"x1 3/8" R IN	34"x32 1/2"
D20	5	2	3065 L IN	36"x30"x1 3/8" L IN	38"x32 1/2"
D21	4	2	5065 L/R IN	(2) 30"x30"x1 3/8" L/R IN	62"x32 1/2"
D22	5	2	3065 R IN	36"x30"x1 3/8" R IN	38"x32 1/2"
D24	4	2	6065 L/R IN	(2) 36"x30"x1 3/8" L/R IN	74"x32 1/2"
D25	5	2	4065 L/R IN	(2) 24"x30"x1 3/8" L/R IN	50"x32 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W01	4	2	3060DH	36"x12" DH	YES
W02	4	1	5046RS	60"x54" RS	
W03	14	2	1616FX	18"x18" FX	
W04	4	2	2030DH	24"x36" DH	
W05	4	2	3050SH	36"x60" SH	YES
W06	5	2	5050LS	60"x60" LS	YES
W07	2	2	5060LS	60"x12" LS	YES
W08	4	1	4046FX	48"x54" FX	
W09	1	2	5046LS	60"x54" LS	YES

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10. 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



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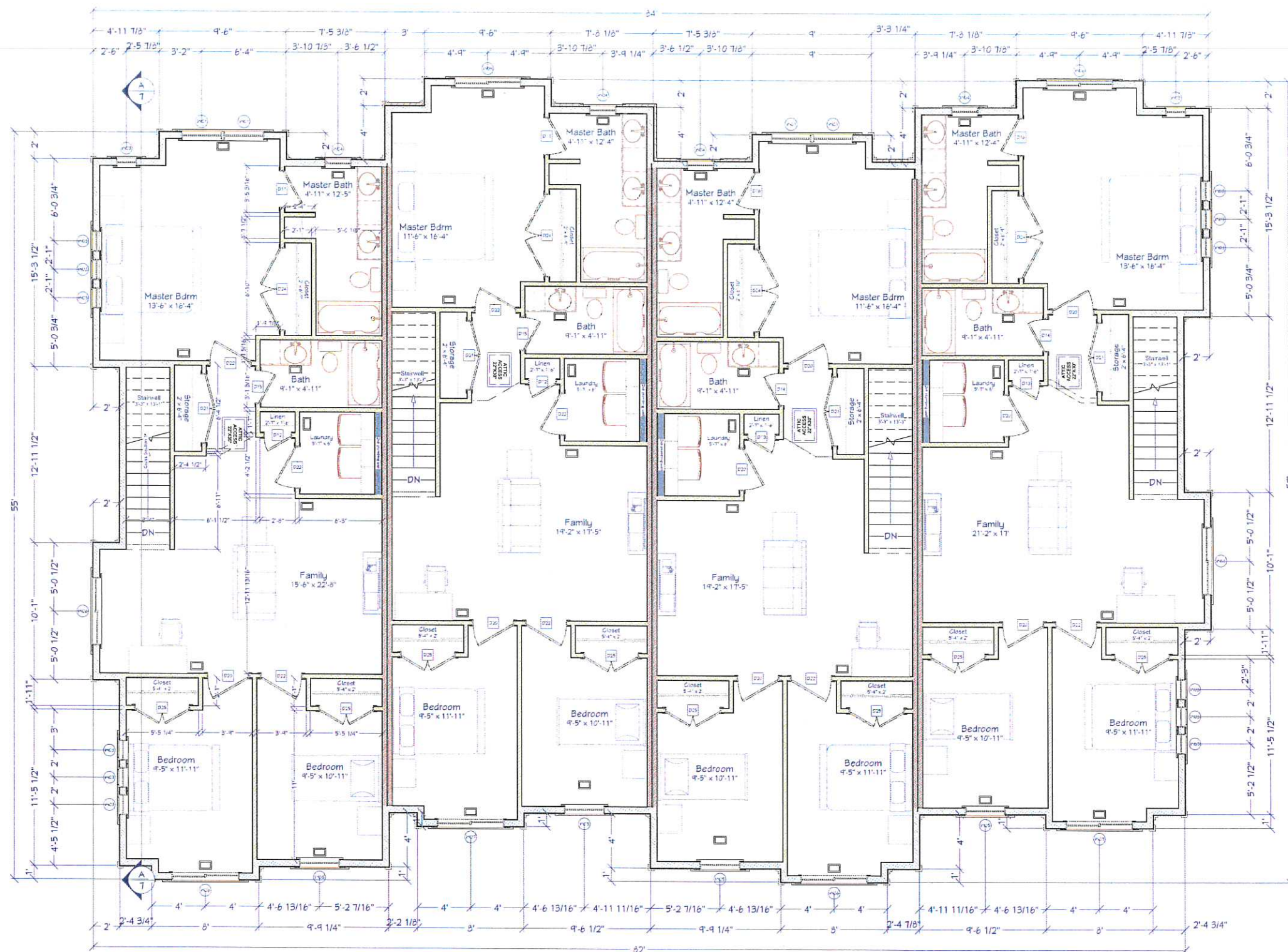
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Main floor plan

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1/9/2018

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MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	4	1	16080	142"X46"X1 3/4"	144"X44"
D02	2	1	1265 L IN	20"X30"X1 3/8" L IN	22"X32 1/2"
D03	2	1	1568 R IN	20"X30"X1 3/8" R IN	22"X32 1/2"
D04	2	1	2665 L IN	30"X30"X1 3/8" L IN	32"X32 1/2"
D05	2	1	2665 R IN	30"X30"X1 3/8" R IN	32"X32 1/2"
D06	2	1	2665 L EX	32"X30"X1 3/8" L EX	34"X33"
D07	2	1	2665 R EX	32"X30"X1 3/8" R EX	34"X33"
D08	2	1	3065 L EX	36"X30"X1 3/8" L EX	38"X35"
D09	2	1	3065 R EX	36"X30"X1 3/8" R EX	38"X35"
D10	4	1	3075	36"X42"	36"X42"
D11	4	1	5465 L/R EX	(2) 32"X30"X1 3/8" L/R EX	66"X35"
D12	2	2	2065 L IN	24"X30"X1 3/8" L IN	26"X32 1/2"
D13	2	2	2065 R IN	24"X30"X1 3/8" R IN	26"X32 1/2"
D14	2	2	2465 L IN	28"X30"X1 3/8" L IN	30"X32 1/2"
D15	2	2	2465 R IN	28"X30"X1 3/8" R IN	30"X32 1/2"
D16	2	2	2565 R IN	32"X30"X1 3/8" R IN	34"X32 1/2"
D17	2	2	2665 L IN	32"X30"X1 3/8" L IN	34"X32 1/2"
D20	6	2	3065 L IN	36"X30"X1 3/8" L IN	38"X32 1/2"
D21	4	2	5065 L/R IN	(2) 30"X30"X1 3/8" L/R IN	62"X32 1/2"
D22	6	2	3065 R IN	36"X30"X1 3/8" R IN	38"X32 1/2"
D24	4	2	6065 L/R IN	(2) 36"X30"X1 3/8" L/R IN	74"X32 1/2"
D25	6	2	4065 L/R IN	(2) 24"X30"X1 3/8" L/R IN	50"X32 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W01	4	2	3060DH	36"X72"DH	YES
W02	4	1	5046R5	60"X54"R5	
W03	14	2	1616FX	18"X18"FX	
W04	4	2	2030DH	24"X36"DH	
W05	4	2	3050SH	36"X60"SH	YES
W06	5	2	5050L5	60"X60"L5	YES
W07	2	2	5060L5	60"X72"L5	YES
W08	4	1	4046FX	48"X54"FX	
W09	1	2	5046L5	60"X54"L5	YES



Each end unit 1,102 sq.ft.

Second floor total 4,372 sq.ft.

Each middle unit 1,084 sq.ft.

Scale: 1/4" = 1'

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD
INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

DO NOT SCALE 11"X17" PRINTS
 THEY ARE NOT TO SCALE

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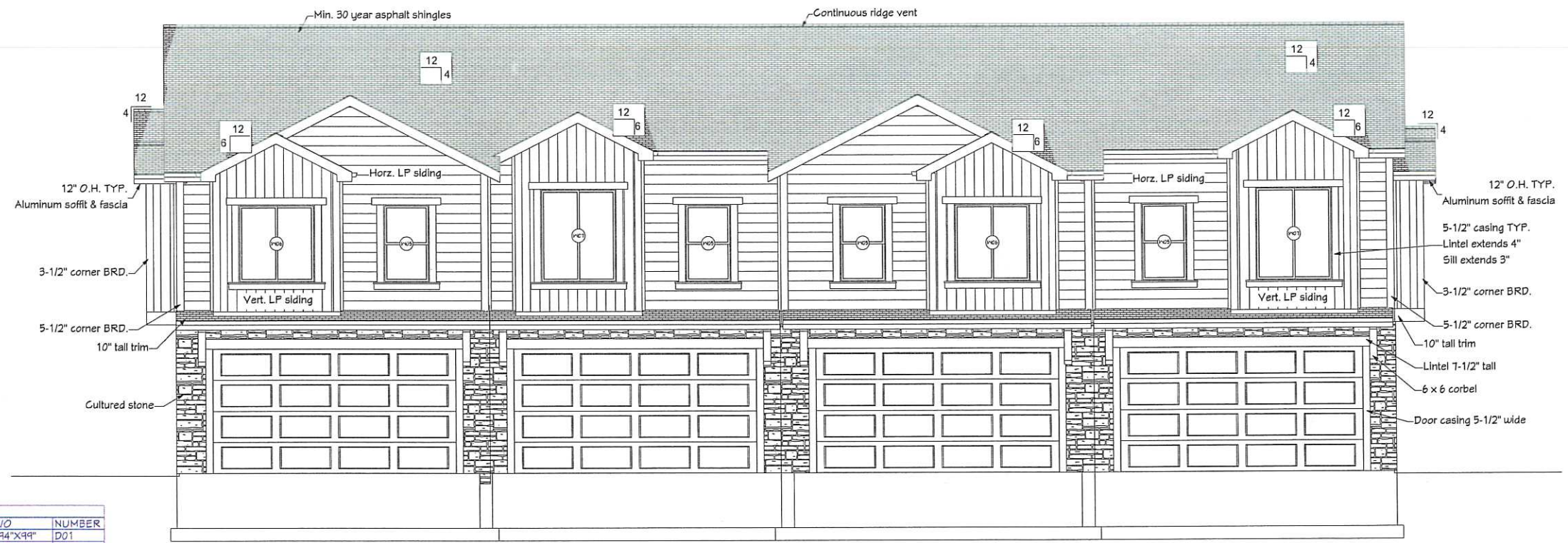


PROJECT FOR:
 Cobblecreek Town Homes

TITLE:
 Second floor plan

DATE:
 1/9/2018

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Rear elevation
Scale: 1/4" = 1'

MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	4	1	16030	142"X46"X1 3/4"	194"X49"
D02	2	1	1366 L IN	20"X30"X1 3/8" L IN	22"X32 1/2"
D03	2	1	1366 R IN	20"X30"X1 3/8" R IN	22"X32 1/2"
D04	2	1	2666 L IN	30"X30"X1 3/8" L IN	32"X32 1/2"
D05	2	1	2666 R IN	30"X30"X1 3/8" R IN	32"X32 1/2"
D06	2	1	2666 L EX	32"X30"X1 3/4" L EX	34"X33"
D07	2	1	2666 R EX	32"X30"X1 3/4" R EX	34"X33"
D08	2	1	3066 L EX	36"X30"X1 3/4" L EX	38"X33"
D09	2	1	3066 R EX	36"X30"X1 3/4" R EX	38"X33"
D10	4	1	3078	36"X42"	36"X42"
D11	4	1	5466 L/R EX	(2) 32"X30"X1 3/8" L/R EX	66"X33"
D12	2	2	2066 L IN	24"X30"X1 3/8" L IN	26"X32 1/2"
D13	2	2	2066 R IN	24"X30"X1 3/8" R IN	26"X32 1/2"
D14	2	2	2466 L IN	28"X30"X1 3/8" L IN	30"X32 1/2"
D15	2	2	2466 R IN	28"X30"X1 3/8" R IN	30"X32 1/2"
D16	2	2	2666 R IN	32"X30"X1 3/8" R IN	34"X32 1/2"
D17	2	2	2666 L IN	32"X30"X1 3/8" L IN	34"X32 1/2"
D20	8	2	3066 L IN	36"X30"X1 3/8" L IN	38"X32 1/2"
D21	4	2	5066 L/R IN	(2) 30"X30"X1 3/8" L/R IN	62"X32 1/2"
D22	8	2	3066 R IN	36"X30"X1 3/8" R IN	38"X32 1/2"
D24	4	2	6066 L/R IN	(2) 36"X30"X1 3/8" L/R IN	74"X32 1/2"
D25	8	2	4066 L/R IN	(2) 24"X30"X1 3/8" L/R IN	50"X32 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W01	4	2	3060DH	36"X12"DH	YES
W02	4	1	5046RS	60"X54"RS	YES
W03	14	2	1616FX	16"X16"FX	
W04	4	2	2030DH	24"X36"DH	
W05	4	2	3050SH	36"X60"SH	YES
W06	5	2	5050LS	60"X60"LS	YES
W07	2	2	5060LS	60"X12"LS	YES
W08	4	1	4046FX	48"X54"FX	
W09	1	2	5046LS	60"X54"LS	YES



Front elevation
Scale: 1/4" = 1'

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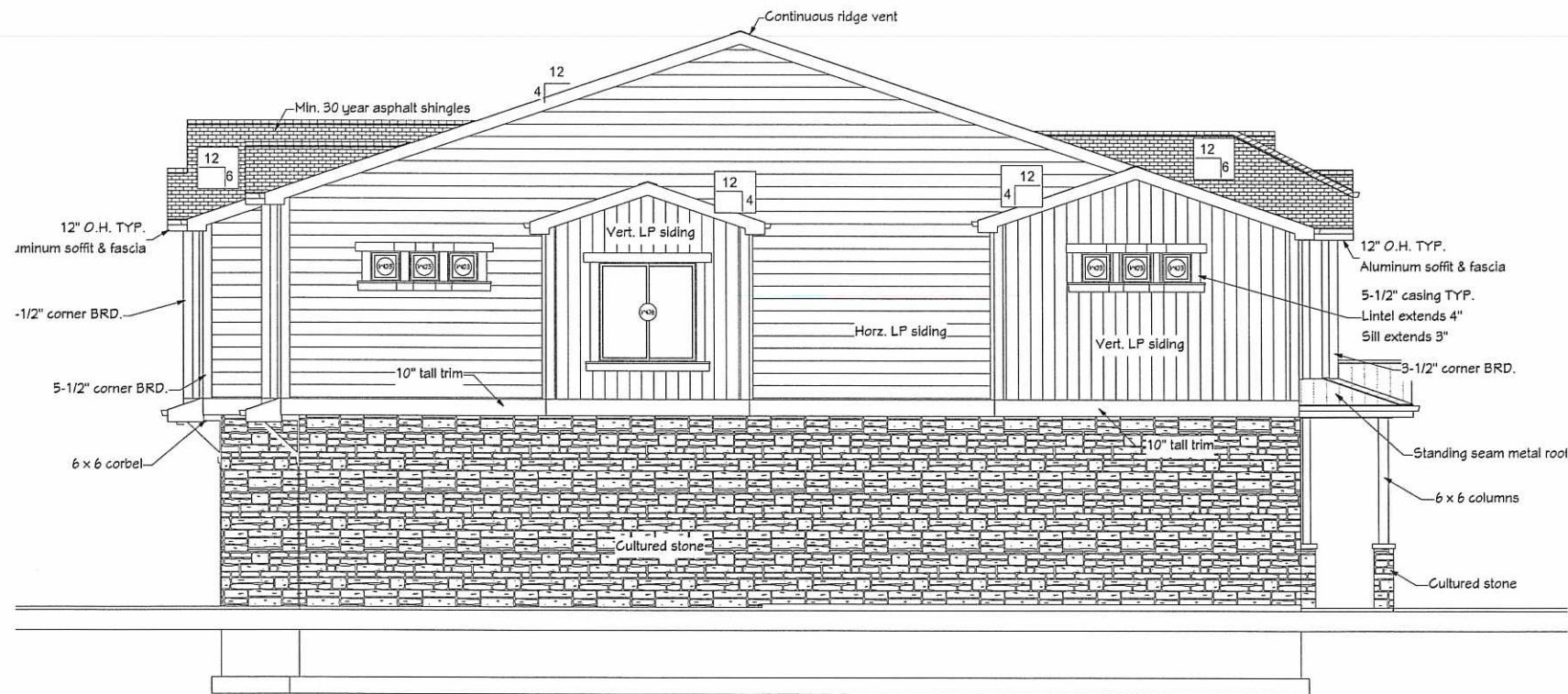
Cobblecreek Town Homes

Elevations

TITLE:

DATE:
1/9/2018

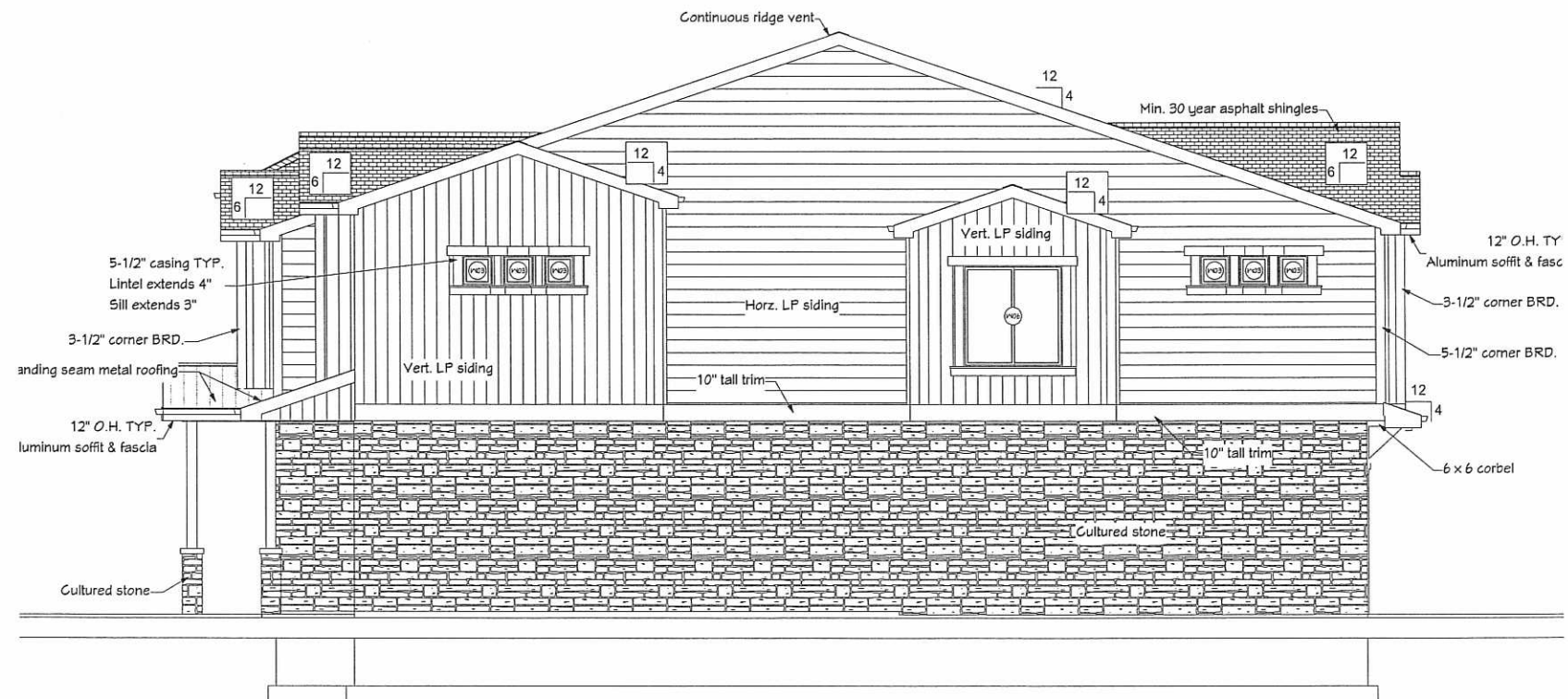
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Left elevation
Scale 1/4" = 1'

NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	4	1	1600	142"x96"x1 3/4"	194"x99"	D01
D02	2	1	1860 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"	D02
D03	2	1	1860 R IN	20"x80"x1 3/8" R IN	22"x82 1/2"	D03
D04	2	1	2660 L IN	30"x80"x1 3/8" L IN	32"x82 1/2"	D04
D05	2	1	2660 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"	D05
D06	2	1	2860 L EX	32"x80"x1 3/4" L EX	34"x83"	D06
D07	2	1	2860 R EX	32"x80"x1 3/4" R EX	34"x83"	D07
D08	2	1	3060 L EX	36"x80"x1 3/4" L EX	38"x83"	D08
D09	2	1	3060 R EX	36"x80"x1 3/4" R EX	38"x83"	D09
D10	4	1	3070	36"x92"	38"x92"	D10
D11	4	1	5460 L/R EX	(2) 32"x80"x1 3/8" L/R EX	66"x83"	D11
D12	2	2	2060 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"	D12
D13	2	2	2060 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"	D13
D14	2	2	2460 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"	D14
D15	2	2	2460 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"	D15
D16	2	2	2860 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"	D16
D17	2	2	2860 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"	D17
D20	8	2	3060 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"	D20
D21	4	2	5060 L/R IN	(2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"	D21
D22	8	2	3060 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"	D22
D24	4	2	6060 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"	D24
D25	8	2	4060 L/R IN	(2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"	D25

NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	4	2	3060DH	36"x72"DH	YES		4
W02	4	1	5046RS	60"x54"RS			4
W03	14	2	1616FX	18"x18"FX			14
W04	4	2	2030DH	24"x36"DH			4
W05	4	2	3050SH	36"x60"SH	YES		4
W06	5	2	5050LS	60"x60"LS	YES		5
W07	2	2	5060LS	60"x72"LS	YES		2
W08	4	1	4046FX	48"x54"FX			4
W09	1	2	5046LS	60"x54"LS	YES		1



Right elevation
Scale 1/4" = 1'

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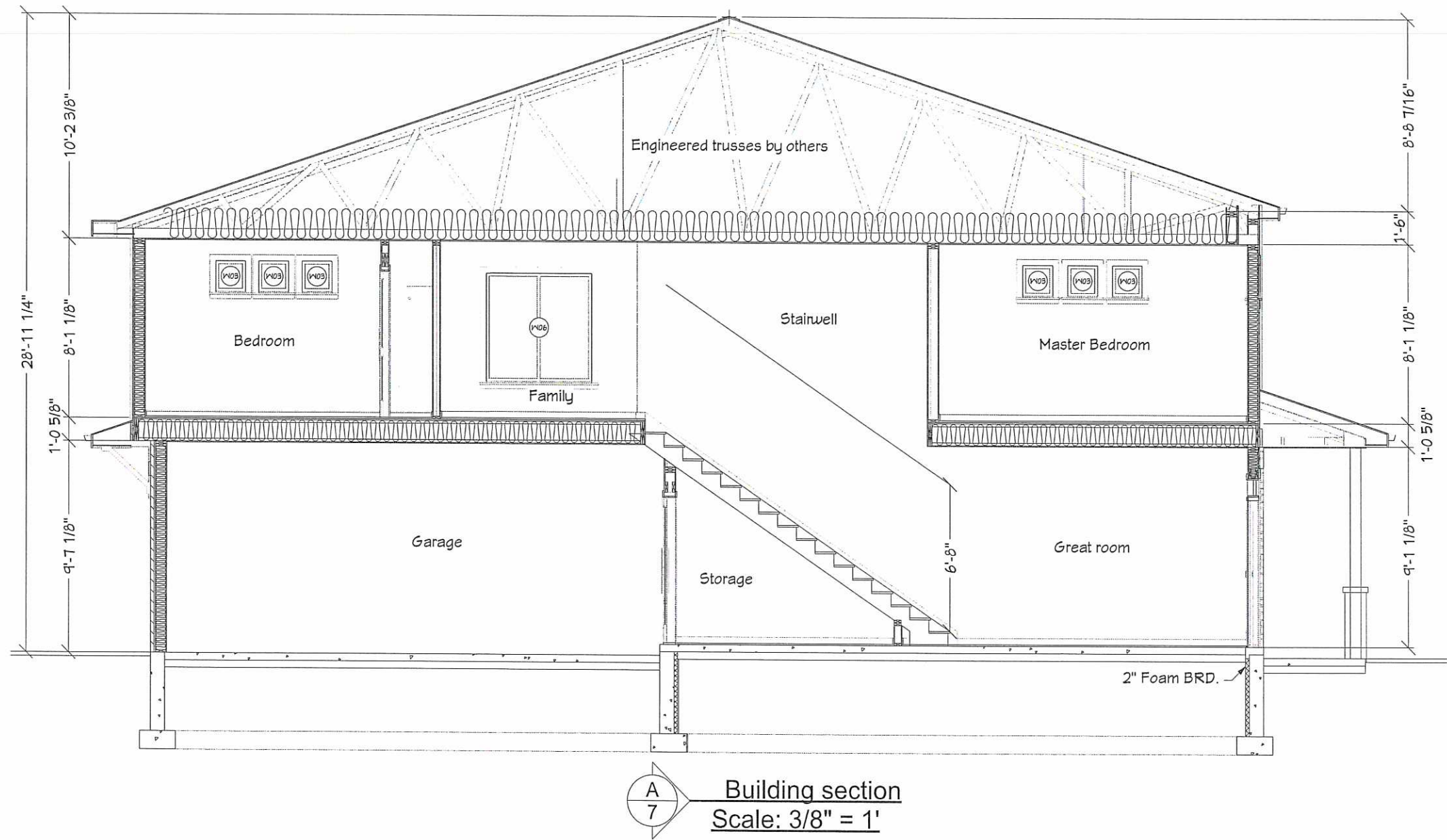
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Elevations

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DO NOT SCALE 11"X17" PRINTS
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TITLE:

Building section

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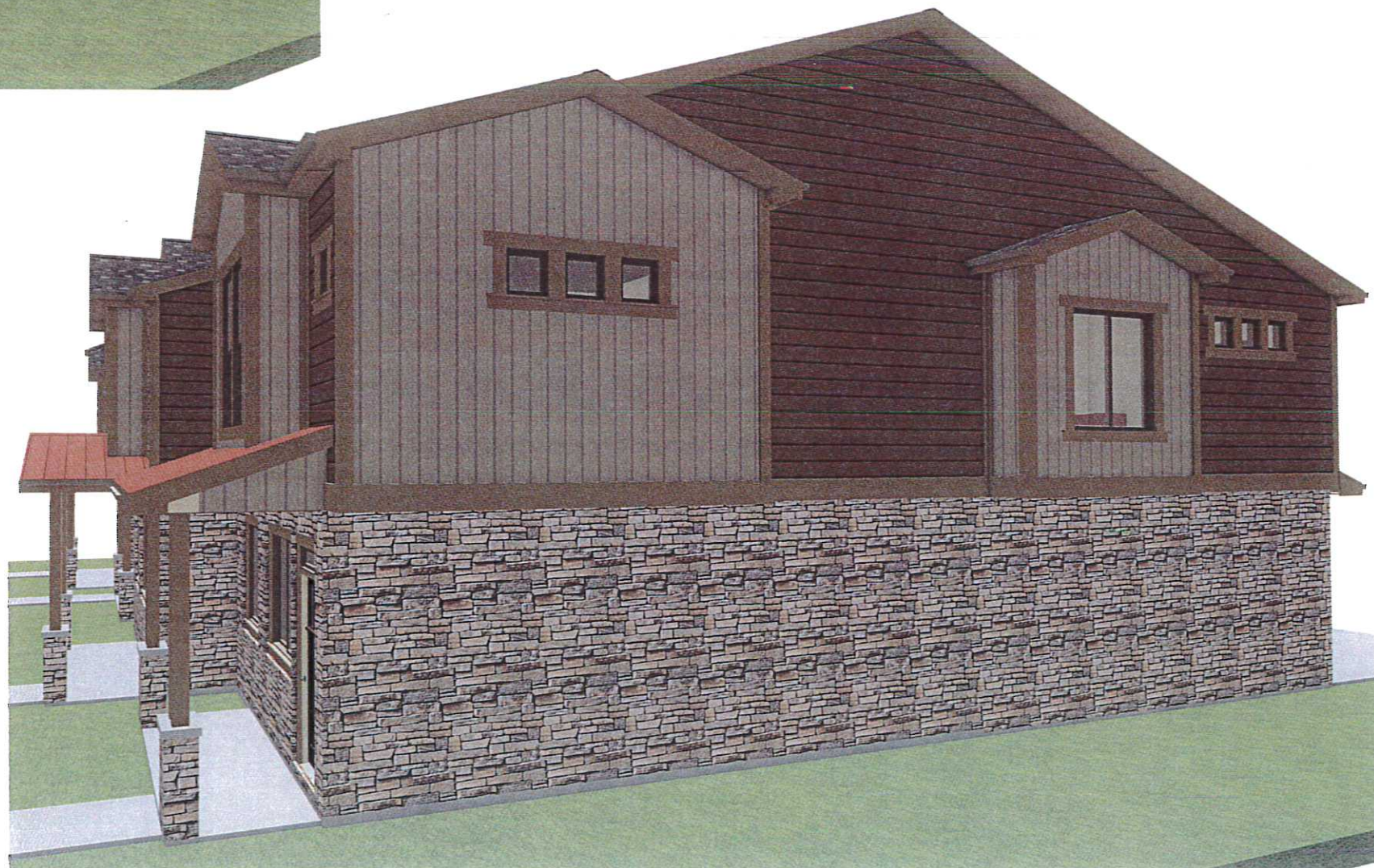
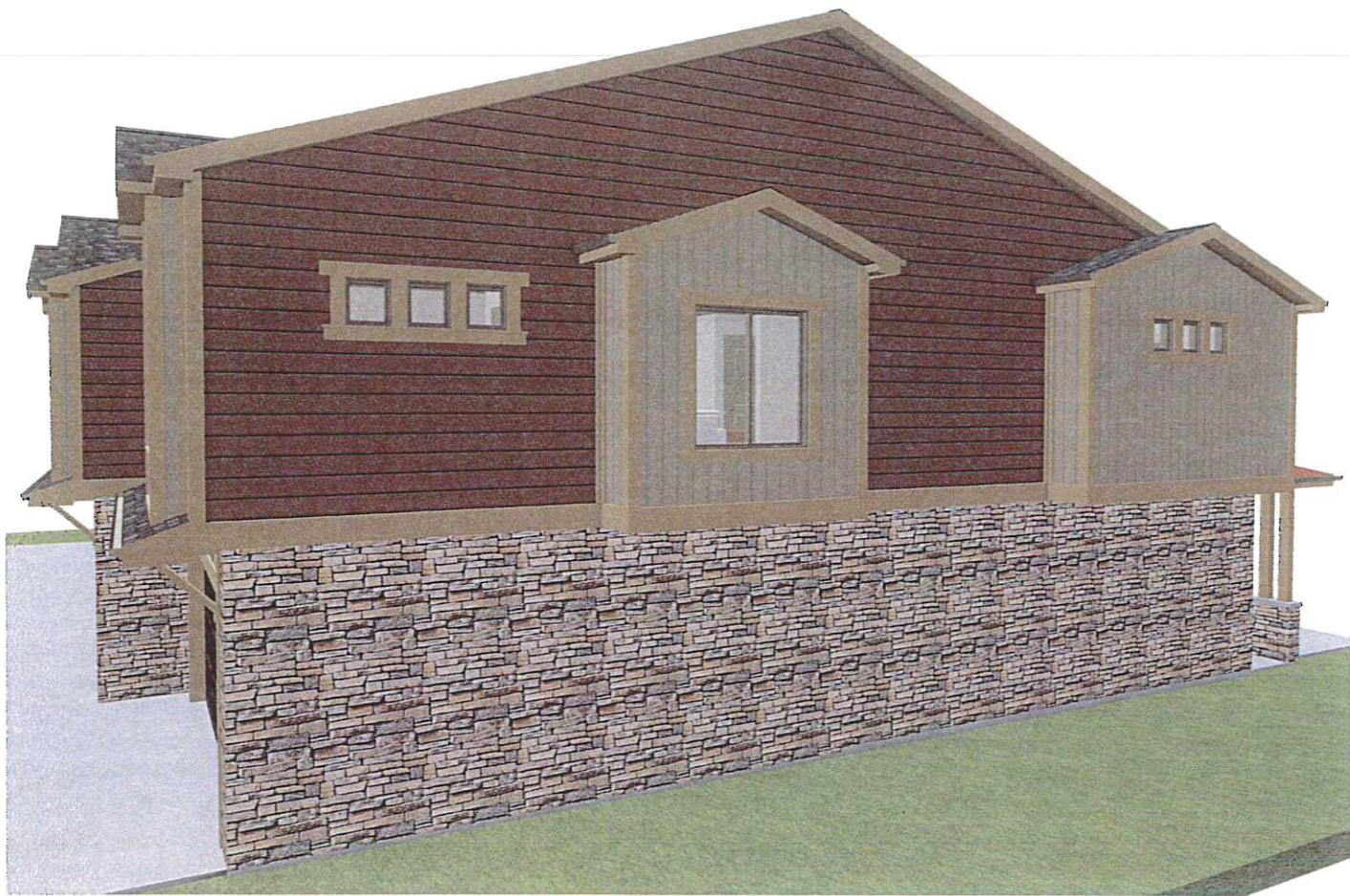


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