

**CACHE VALLEY BANK
SITE PLAN
20 NORTH 800 EAST
CITY COUNCIL MEETING
AUGUST 15, 2019**

ZONING- C-1 Permitted

UTILITIES- All available at site

PARKING- As shown

LIGHTING- Street lights existing- Lighting to be added to exterior of building

LANDSCAPPING- As shown

STORMWATER- Partial existing- Sumps to be added

SIGNAGE- On the building tower

UDOT- They have preliminary approval for a new access off of 101. They will also use the current street to the north for a second access.

NOTES- This is a unique building and could become a real landmark in the city. They are moving part of the old tower & granary from 100 North & Center Street and then building around it. This is a great way to save and use a historical building and marker that relates directly to the city history. The Planning Commission has reviewed and is recommending approval as proposed.

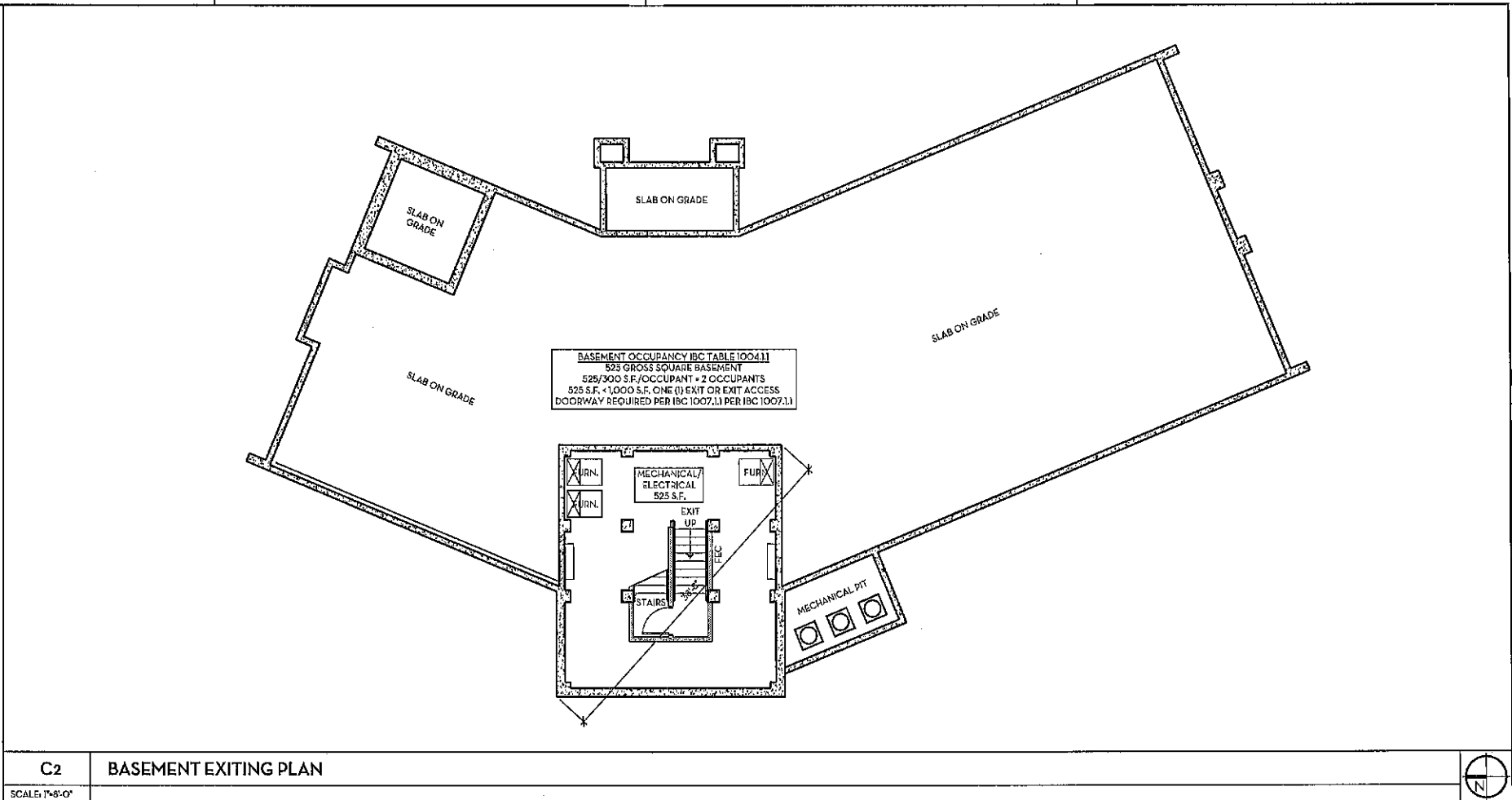


MELLE DETTENMAIER 453.890.2009
CHRISTIAN WILSON 435.232.6662

TITLE	CODE COMPLIANCE
PROJECT	CACHE VALLEY BANK, HYRUM BRANCH
CLIENT	CACHE VALLEY BANK
ADDRESS	101 MAIN STREET, LOGAN, UTAH 84321

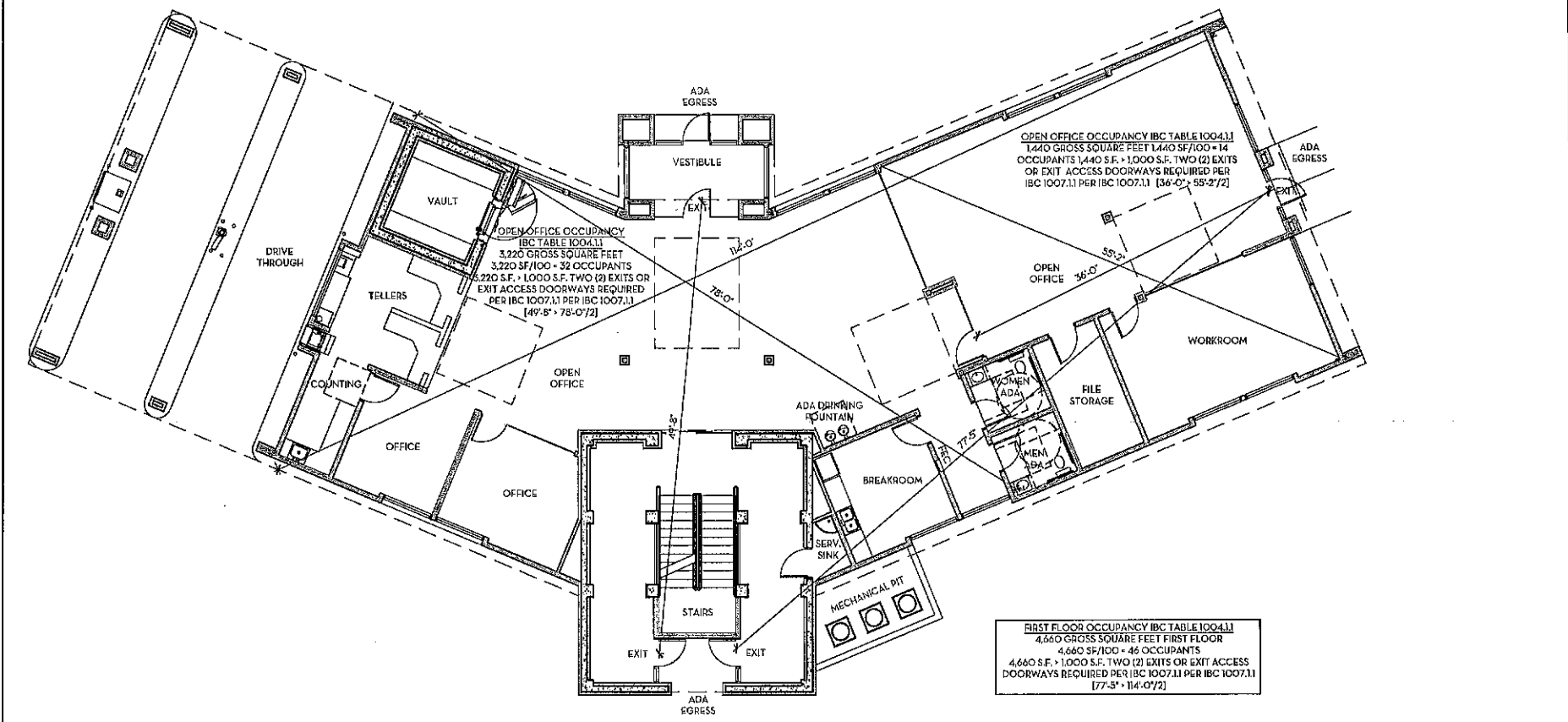
REVISIONS		
NO.	DATE	DESCRIPTION

DATE 04.09.19
JOB NO. CVB HYRUM
SCALE: NONE
DRAWN: JCW



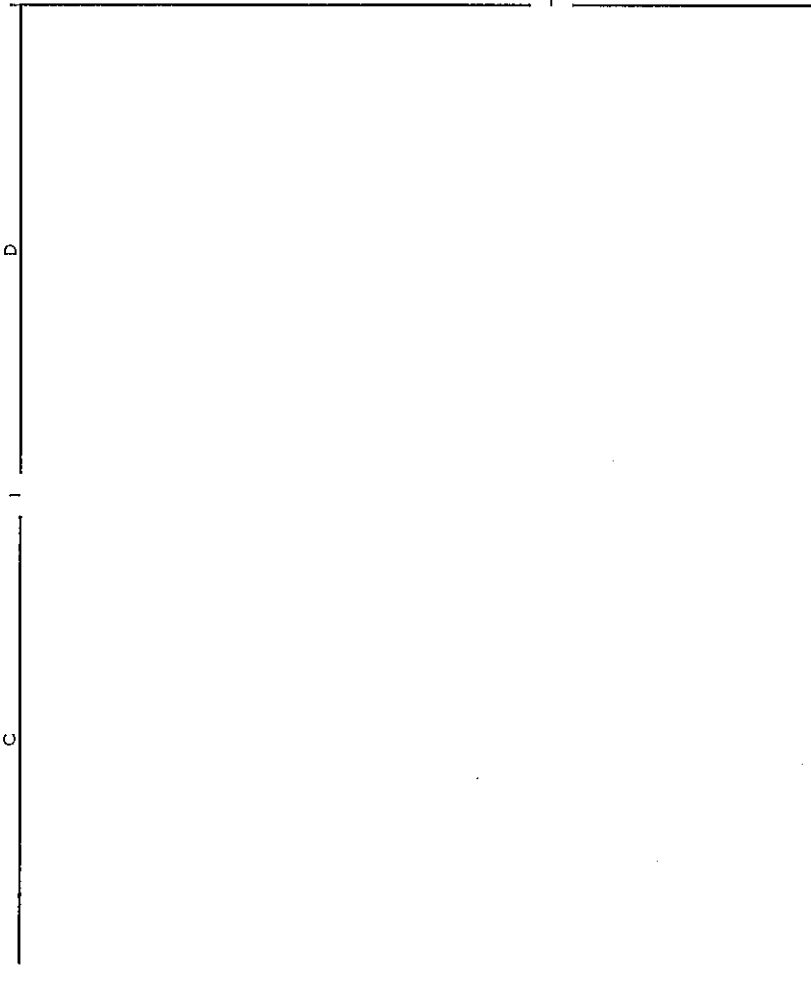
C2 BASEMENT EXITING PLAN

SCALE: 1/8"=0'



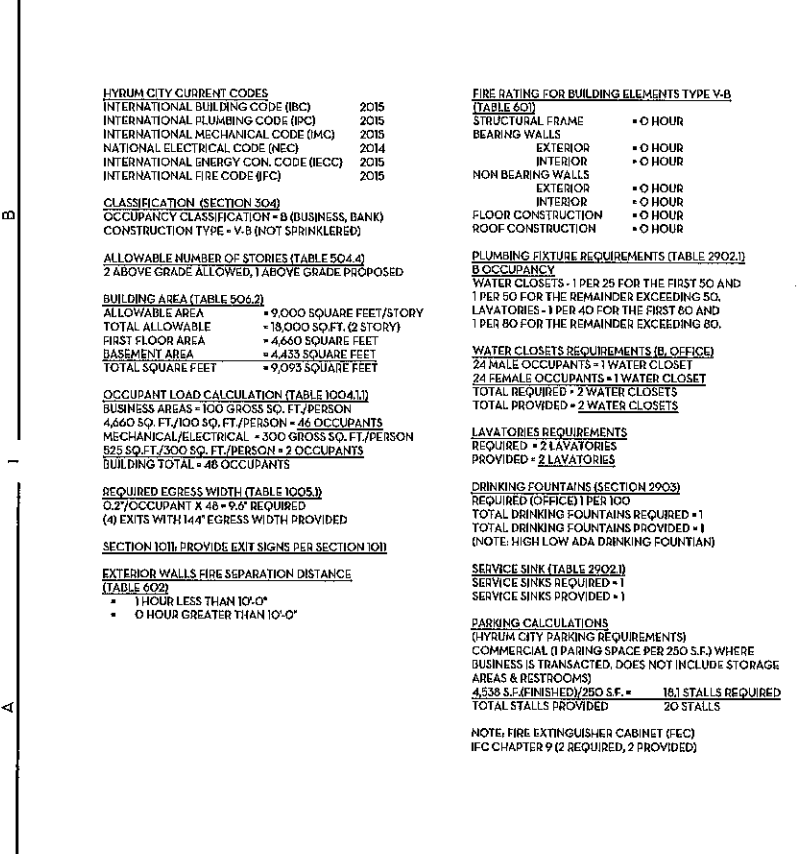
A2 FIRST FLOOR EXITING PLAN

SCALE: 1/8"=0'



A1 CODE STUDY

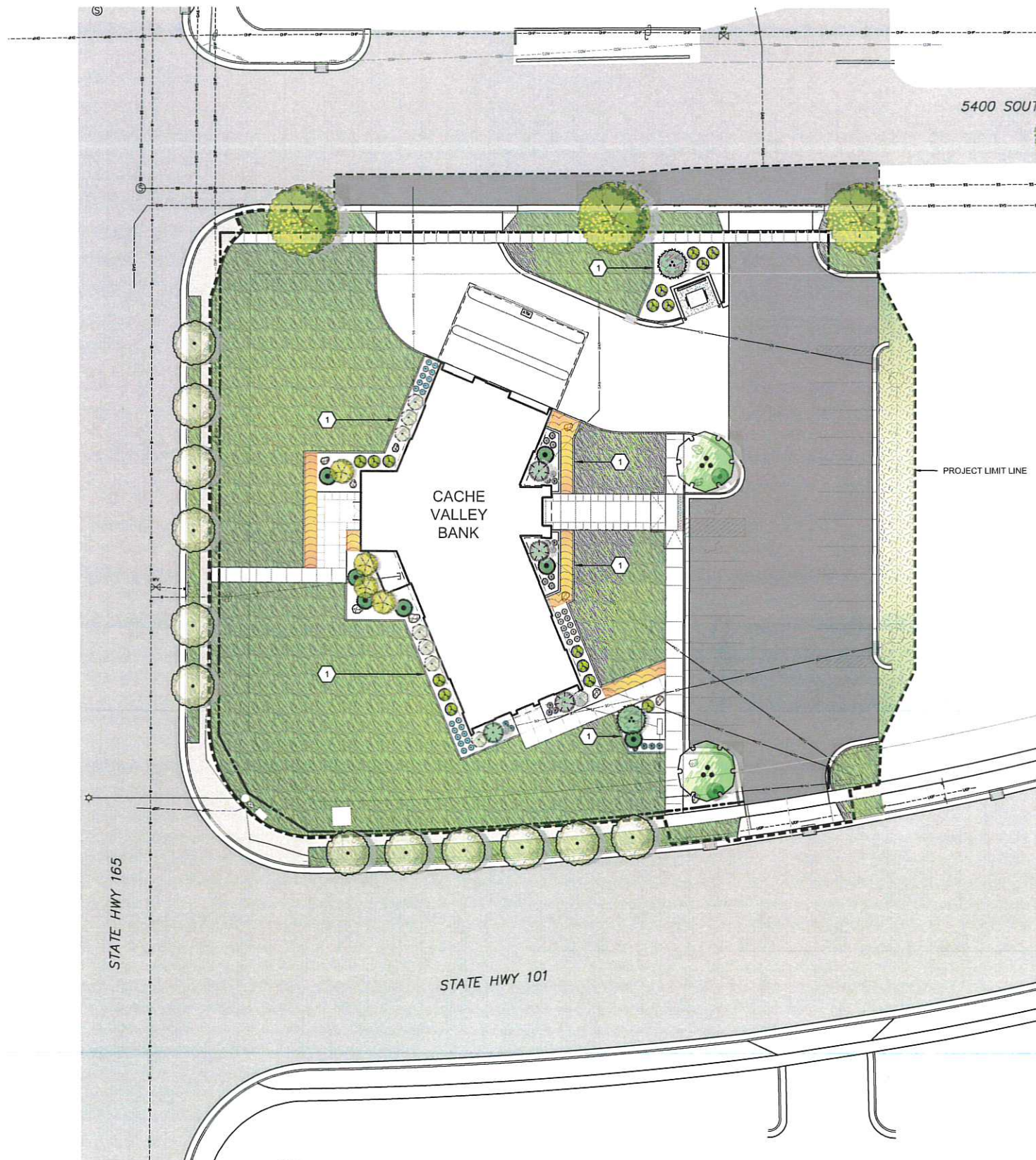
SCALE: NONE



A1 CODE STUDY

SCALE: NONE

PLANTING PLAN
SCALE: 1"=20'



PLANTING SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	QTY
	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	2
	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	3
	PINUS LEUCODERMIS 'EMERALD ARROW'	EMERALD ARROW BOSNIAN PINE	2
	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4
	POPULUS TREMULA 'ERECTA'	EUROPEAN COLUMNAR ASPEN	4
	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	12
SHRUBS	BOTANICAL NAME	COMMON NAME	QTY
	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	16
	EUONYMUS FORTUNEI 'EMERALD GAITY' TM	EMERALD GAITY EUONYMUS	8
	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	15
	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	HIDCOTE BLUE LAVENDER	6
	PANICUM VIRGATUM 'DALLAS BLUES' TM	DALLAS BLUES SWITCH GRASS	30
	PINUS NIGRA 'HELGA'	DWARF AUSTRIAN PINE	9
GROUND COVERS	BOTANICAL NAME	COMMON NAME	QTY
	PERENNIAL BED BY OWNER		519 SF
	DROUGHT TOLERANT NON-IRRIGATION TURF SEED 'CABIN MIX', FOUND AT UTAH SEED OR APPROVED EQUAL		1,537 SF
	SOD, DROUGHT TOLERANT FESCUE BLEND		18,269 SF
	3' - 5' LANDSCAPE BOULDERS, 'WALNUT' FOUND AT UTAH LANDSCAPING ROCK, OR APPROVED EQUAL, MIN SIZE ANY DIRECTION 2'		14

GENERAL PLANTING NOTES

1. PLANTING PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANT SYMBOLS AND QUANTITIES PRIOR TO PURCHASE ORDER.
2. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY AS DEFINED IN ANSI Z.60 AMERICAN STANDARDS FOR NURSERY STOCK.
3. AMENDED PLANT BACKFILL MATERIAL SHALL BE A MIXTURE OF THREE (3) PARTS TOPSOIL TO ONE (1) PART PEAT MOSS AND SHALL BE MIXED ON SITE.
4. ALL PLANTINGS SHALL RECEIVE TWENTY-ONE (21) GRAM TABLETS OF "AGRIFORM" PLANT FERTILIZER (OR APPROVED EQUAL) TO BE PLACED IN PLANTING PIT AND PER MANUFACTURERS RECOMMENDATIONS.
5. TREES PLANTED ADJACENT TO PUBLIC ROADS AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED TO EVEN (7) FEET HEIGHT CLEARANCE ABOVE PAVEMENT.
6. ALL PLANTING BEDS TO RECEIVE 4" MINIMUM CEDAR BARK MULCH MATERIAL OVER DeWITT WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL-SUBMITTAL REQUIRED ON MULCH MATERIAL UNLESS OTHERWISE SHOWN IN PLAN.
7. ALL TURF AREAS TO RECEIVE MINIMUM 8" LOOSE FRIABLE TOPSOIL PRIOR TO SOD INSTALLATION.
8. ALL SHRUB BEDS TO RECEIVE 18" LOOSE FRIABLE TOPSOIL OVER ENTIRE AREA-PRIOR TO WEED BARRIER FABRIC AND MULCH-USE AMENDED PLANT BACKFILL AS IDENTIFIED FOR ALL PLANTING PITS.
9. SITE SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR. CONTRACTOR TO COORDINATE ALL NECESSARY SLEEVING FOR AUTOMATIC IRRIGATION SYSTEM.

SITE LAYOUT KEYED NOTES

- 1 6"x6" C/P CONCRETE MOWCURB, SEE SITE PLAN C-1.0

DESCRIPTION: 1 PERMIT SET 2 CONSTRUCTION DOCUMENTS 3 REVISED CDS

NO. 1 DATE 02/04/19 2 02/22/19 3 04/13/19

PROFESSIONAL SEAL
J. MAUGHAN
LANDSCAPE ARCHITECT
04-12-2019
STATE OF UTAH

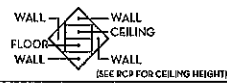
PLANTING PLAN

CACHE VALLEY BANK
HYRUM, UTAH
20 NORTH SR-165


Cache • Landmark
Engineers
Surveyors
Planners
95 Golf Course Rd.
Suite 101
Logan, UT 84321
435.713.0099

DATE: 12 APRIL 2019
SCALE: 1"=20'
DESIGN BY: J. MAUGHAN
CHECKED BY: K. KVARFORDT
APPROVED BY: L. ANDERSON
PROJECT NUMBER: 18054CVB
SHEET: L1.0

FINISH MATERIALS



WALLS	FLOOR/BASE	CEILING
W1 PAINTED GYPSUM	F1 CARPET/ WOOD BASE	C1 PAINTED GYPSUM SEE REFLECTED CEILING PLANS
W2 PORCELAIN TILE FULL HEIGHT	F2 PORCELAIN TILE/ PORCELAIN TILE BASE	C2 WOOD SEE REFLECTED CEILING PLANS
W3 PORCELAIN TILE WAINSCOT TO 5'-0" /WALLCOVERING	F3 SEALED CONCRETE/ RUBBER BASE	C3 OPEN TO STRUCTURE
W4 WALL COVERING	F4 LVT/ WOOD BASE	
W5 EXISTING BARN WOOD	F5 WALK OFF MAT/ WOOD BASE	

SIGNAGE

WALLS

W1 - PAINTED GYPSUM
MANUF: SHERWIN WILLIAMS
COLOR: DOVER WHITE SW6385
FINISH: SATIN

W2 - PORCELAIN TILE
MANUF:
SERIES:
COLOR:
SIZE:
GROUT: 1/16" MAPLE COLOR TBD
NOTES: SEE INTERIOR ELEVATIONS

W4 - PORCELAIN TILE WAINSCOT/
PAINTED GYPSUM
PORCELAIN TILE
MANUF:
SERIES:
COLOR:
SIZE:
GROUT: PAINTED GYPSUM
MANUF: SHERWIN WILLIAMS
COLOR: DOVER WHITE SW6385
FINISH: SATIN
NOTES: SEE INTERIOR ELEVATIONS

W4 - WALLCOVERING
MANUF:
SERIES:
COLOR:
NOTES: SEE INTERIOR ELEVATIONS

W5 - EXPOSED BOARD FORMED
CONCRETE

FLOORS

F1 - CARPET
MANUF: MILLIKEN
SERIES: COLOR FIELD PATINA
COLOR:
SIZE: 25CM X 1M

F2 - PORCELAIN TILE
MANUF:
SERIES:
COLOR:
SIZE:
GROUT:

F3 - SEALED CONCRETE

F4 - LVT
MANUF:
SERIES:
COLOR:
SIZE:

F5 - WALK OFF MAT
MANUF: MILLIKEN
SERIES: QUADRUS ALTITUDE BRUSH
COLOR:
SIZE: 50 CM X 50 CM

BASE

B1 - WOOD BASE
NOTES: STAIN GRADE HARDWOOD
FINISH: MATTE

B2 - PORCELAIN BASE
MANUF:
SERIES:
COLOR:
SIZE:
GROUT:

B3 - RUBBER BASE
MANUF: ROPPE
SERIES: PINNACLE
COLOR: BLACK BROWN 193
SIZE: 4" COVED

CEILING

C1 - PAINTED GYPSUM
MANUF: SHERWIN WILLIAMS
COLOR: CEILING BRIGHT WHITE
SW7007
FINISH: LATEX/FLAT

C2 - PAINTED GYPSUM W/
DECORATIVE PANEL, MOLDING
MANUF: SHERWIN WILLIAMS
COLOR: CEILING BRIGHT WHITE
SW7007
FINISH: LATEX/FLAT
NOTES: SEE REFLECTED CEILING PLAN

C3 - OPEN TO STRUCTURE

MILLWORK

MOLDING
STAINED HARDWOOD

CABINETS
STAINED HORIZONTAL GRAIN
HARDWOOD
MANUF:
FINISH: MATTE

COUNTERTOPS
ENGINEERED STONE
MANUF:
COLOR:
THICK: 3CM

WINDOW SILLS ABOVE FINISH FLOOR
ENGINEERED STONE
MANUF:
COLOR:
THICK:

GENERAL FINISH PLAN NOTES:

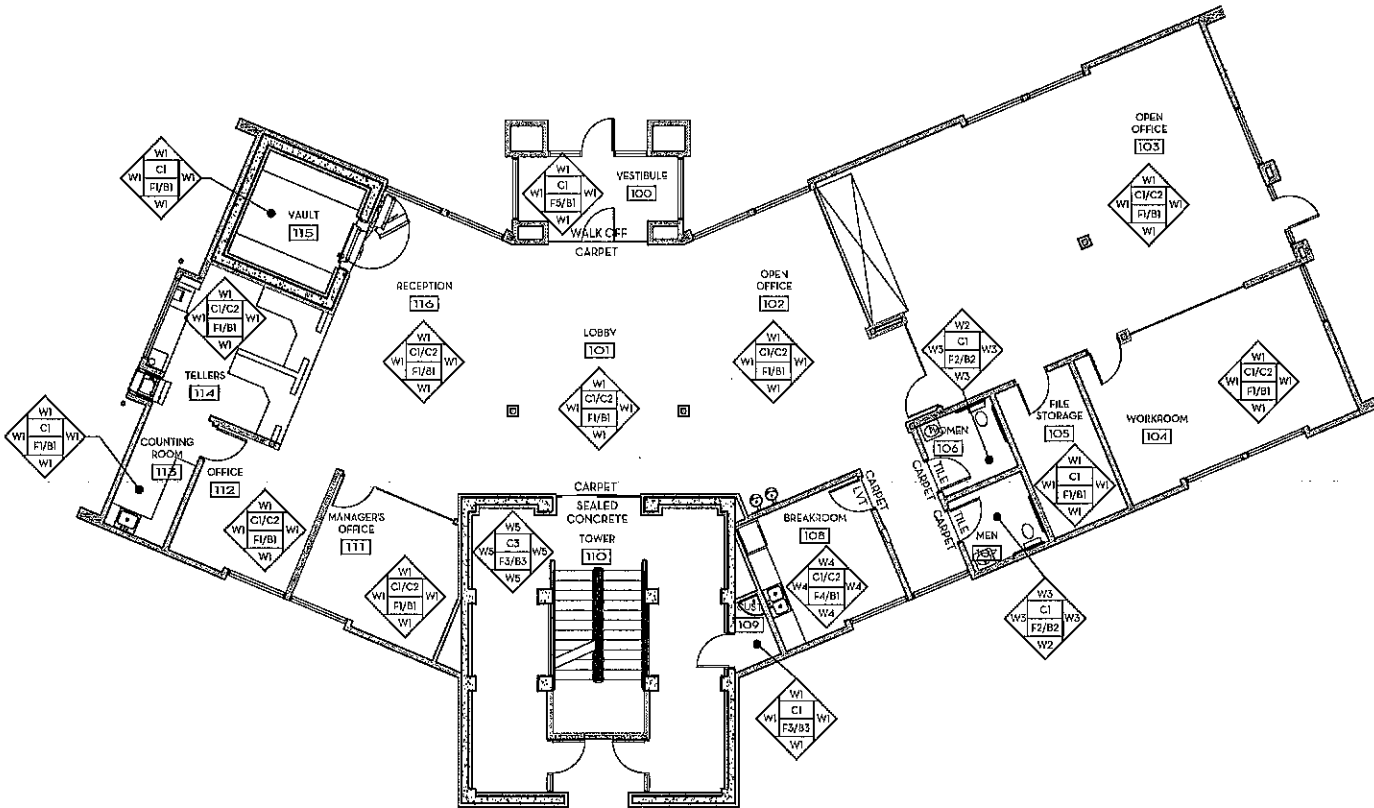
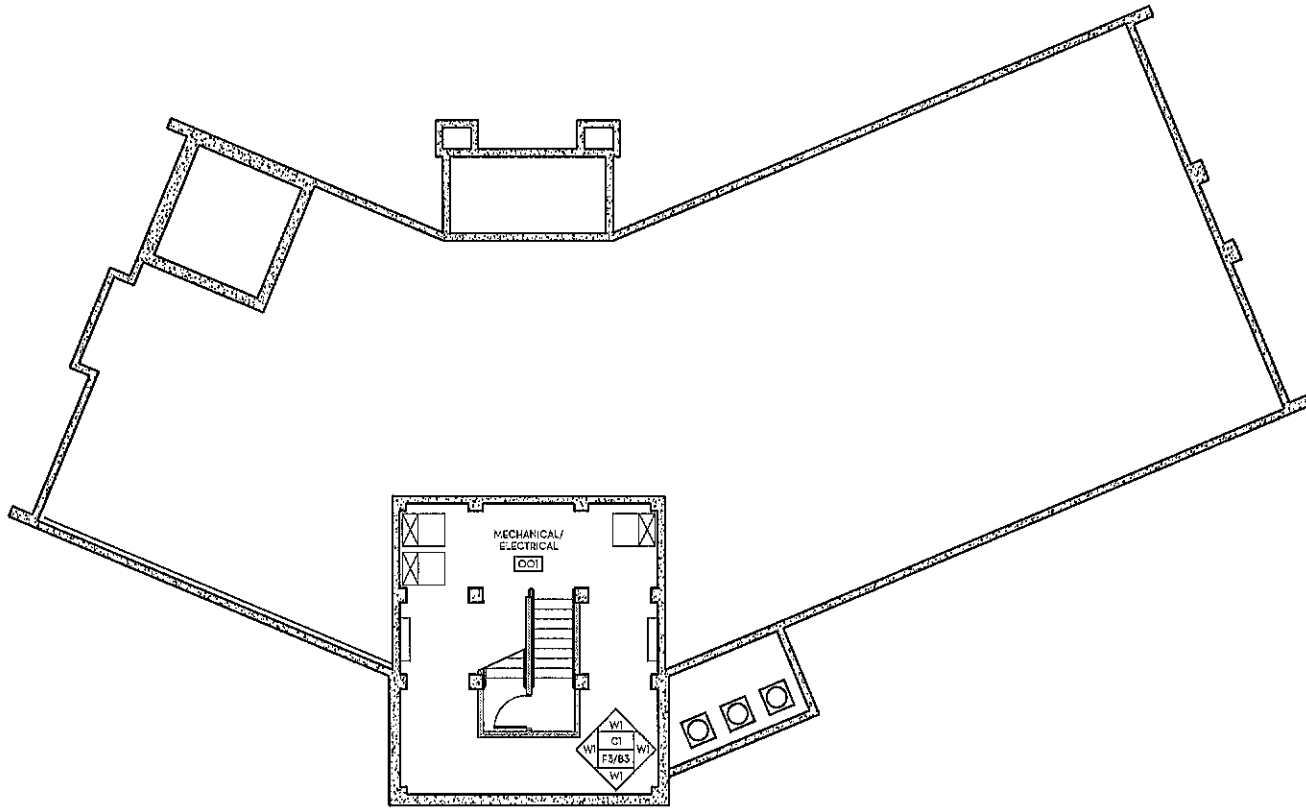
- NO FINISH SUBSTITUTIONS MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION BY OWNER.
- ALL FINISHES SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- GENERAL CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR ALL INSTALLED FINISHES AS WORK PROGRESSES.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF FINISH MATERIALS TO DESIGNER.
- PAINT AND WALL COVERING SUBCONTRACTOR SHALL EXAMINE WALLS TO ENSURE PROPER PREPARATION BEFORE APPLICATION. BEGINNING WORK IMPLIES ACCEPTANCE OF THEIR CONDITION.
- ALL EXISTING WALLS TO BE PAINTED, U.N.O. AS PER INDICATED ON PLAN.
- ALL CARPET INSTALLATION SHALL BE ACCOMPLISHED BY A FLOOR COVERING FIRM OR CERTIFIED INSTALLER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MFR'S INSTALLATION INSTRUCTIONS.
- ALL CERAMIC AND VINYL COMP. TILES TO BE INSTALLED WITH FULL TILE FROM TRANSITION AT DOOR AND FULL TILE FROM WALL PERPENDICULAR TO DOOR, U.N.O.
- NO PAINTING OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH WILL JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP WHICH IS JUDGED LESS THAN FIRST QUALITY BY THE DESIGNER WILL BE REJECTED.
- ALL SURFACES SHALL BE PREPARED TO RECEIVE THE SPECIFIED FINISH. ALL GYPSUM BOARD WALLS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH AND PREPARED TO RECEIVE THE SPECIFIED FINISH. PAINT GRADE WOODWORK SHALL BE HAND SANDED BETWEEN COATS AND DUSTED CLEAN. ALL HOLES, PITCH POCKETS OR SAPPY PORTIONS SHALL BE SCRAPED AND SHELLACKED, OR SEALED WITH KNOT SEALER. NAIL HOLES, CRACKS OR DEFECTS SHALL BE PUTTIED AFTER FIRST COAT, WITH PUTTY MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE OIL OR GREASE WITH MINERAL SPIRITS.
- ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
- INTERIOR GYPSUM BOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING PROCESS.
- UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPATTERED ON EXPOSED SURFACES.
- ALL VENEER STAINS SHALL HAVE UNIFORM COLOR.
- EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH "TOUCH-UP" AS REQUIRED.
- PROVIDE DESIGNER WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR & FINISH FOR DESIGNER'S APPROVAL. DESIGNER RESERVES THE RIGHT TO ADJUST ANY COLOR/FINISH ONCE THE WALL TEST HAS BEEN MADE.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH CEILING FINISH, U.N.O.
- ALL GYP. BD. CEILINGS AND SOFFITS TO RECEIVE TWO (2) COATS FLAT PAINT, U.N.O. WHERE INDICATED ON PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FINISHES, FIXTURES, FABRICS AND OTHER CUSTOM FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LEAD TIME MUST BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY TO ALLOW FOR RESPECIFICATION IF NECESSARY.
- SEE FINISH PLAN, ELEVATIONS AND DETAILS FOR CLARIFICATION OF EXTENT OF FINISH MATERIALS.
- PAINT IS DEFINED AS ONE PRIMER COAT AND 2 FINISH COATS.
- STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS ARE NOT VISIBLE WHEN VIEWED FROM ANY ANGLE AS DETERMINED BY THE DESIGNER.
- ALL INTERSECTIONS OF FLOOR FINISH MATERIALS SHALL BE LOCATED DIRECTLY UNDER CENTER OF DOOR, WHERE OCCURS, U.N.O.
- ALL WALLS TO RECEIVE W1 U.N.O.
- ALL GYP. BOARD CEILINGS AND SOFFITS TO BE C1 U.N.O.
- ALL COVER PLATES, SWITCHES, OUTLETS, RECEPTACLES AND DEVICES TO BE WHITE U.N.O.

C2 FINISH PLAN NOTES

NO SCALE

C3 BASEMENT FINISH PLAN

SCALE: 1/8" = 1'-0"



A1 FINISH SCHEDULE

NO SCALE

A3 MAIN FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



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CHRISTIAN WILSON 435.232.8662

TITLE	FINISH SCHEDULE
PROJECT	CACHE VALLEY BANK, HYRUM BRANCH
CLIENT	CACHE VALLEY BANK
ADDRESS	101 MAIN STREET, LOGAN, UTAH 84321

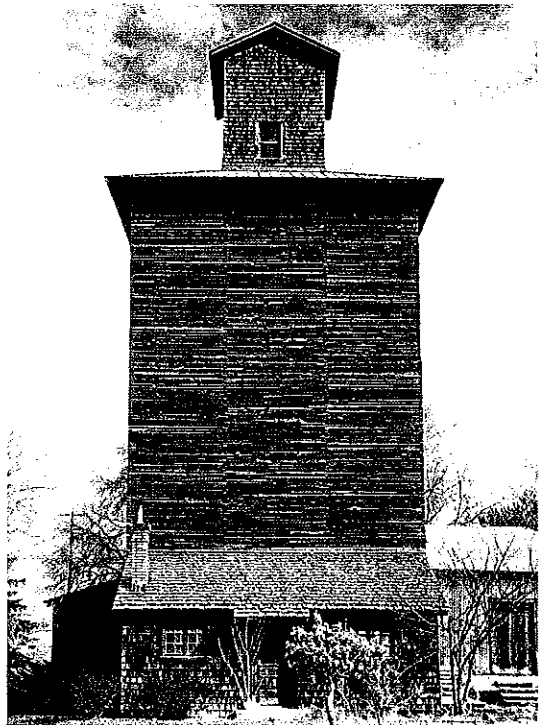
NO.	DATE	DESCRIPTION

DATE: 04.09.19
JOB NO: CVB-HYRUM
SCALE: VARIES
DRAWN: MLD

SHEET

A131

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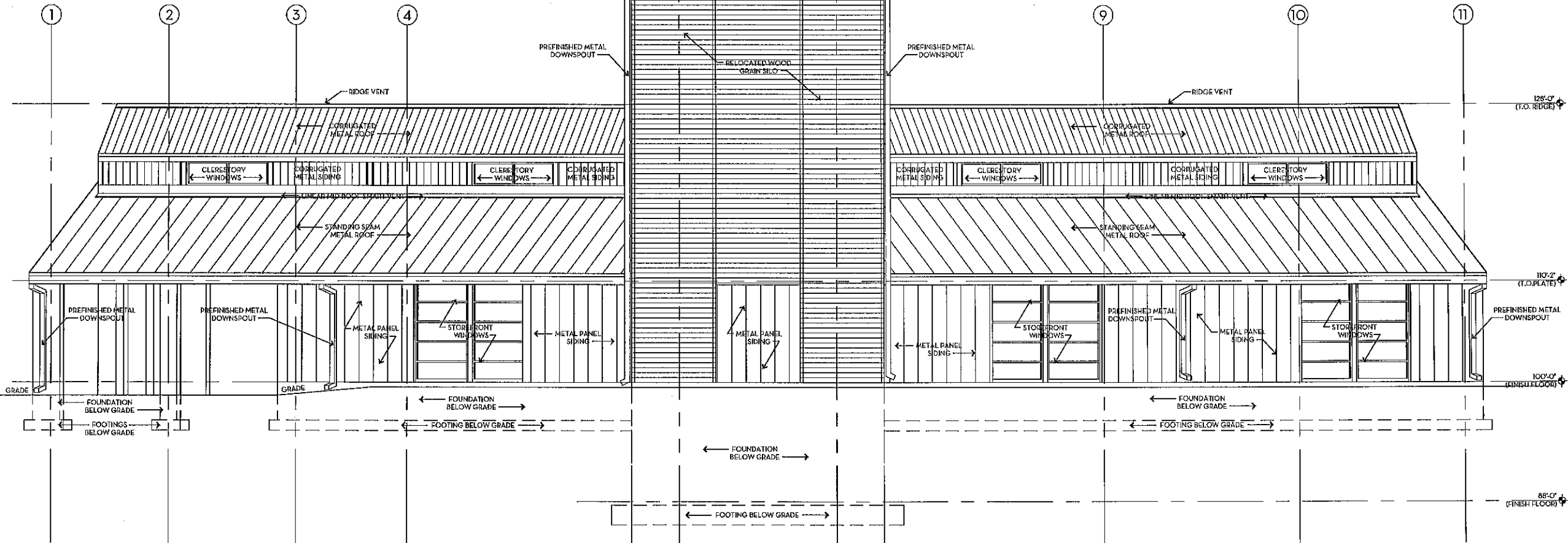


NOTE: WOOD GRAIN SILO WILL BE OWNER PROVIDED, DELIVERED AND SET IN PLACE. CONTRACTOR TO PROVIDE CONCRETE FOUNDATION BASE PRIOR TO INSTALLATION. PROVIDE NEW ROOF AND CUPOLA.

EXISTING SILO LOCATION: 5 EAST 100 NORTH HYRUM, UTAH.
ALL BIDDING CONTRACTORS ARE REQUIRED TO VISIT AND BECOME FAMILIAR WITH THE EXISTING STRUCTURE.

C1 EXISTING GRAIN SILO TO BE RELOCATED

SCALE: NONE



A1 WEST ELEVATION

SCALE: 3/16" = 1'-0"

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TITLE WEST ELEVATION

PROJECT CACHE VALLEY BANK, HYRUM BRANCH

CLIENT CACHE VALLEY BANK

ADDRESS 101 MAIN STREET, LOGAN, UTAH 84321

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 04.09.19
JOB NO.: CVB HYRUM
SCALE: 3/16" = 1'-0"
DRAWN: JCW

SHEET

A200

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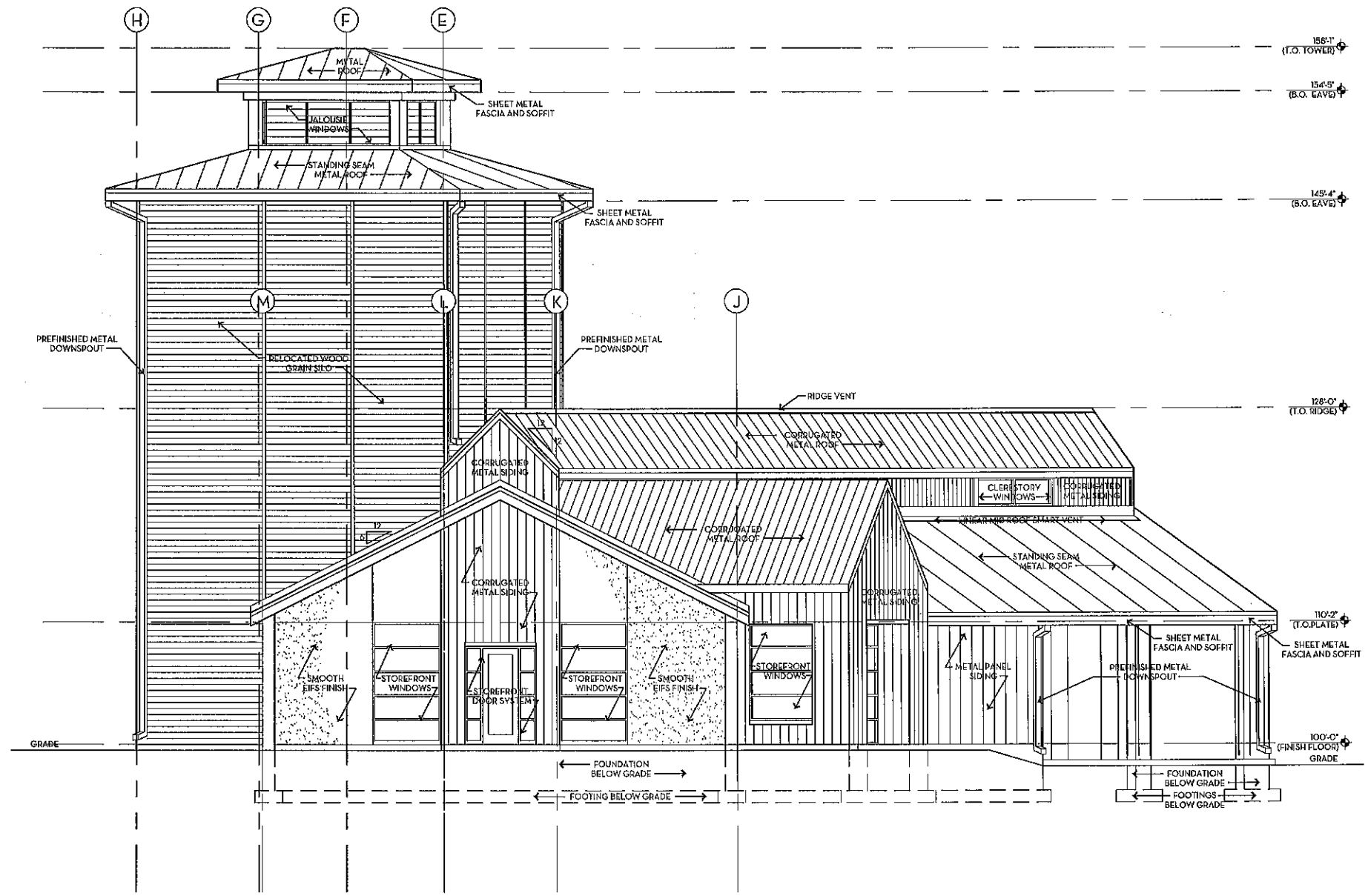


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CHRISTIAN WILSON 435.233.8667



A2 SOUTHELEVATION

SCALE: 3/16" = 1'-0"

TITLE	SOUTH ELEVATION
PROJECT	CACHE VALLEY BANK, HYRUM BRANCH
CLIENT	CACHE VALLEY BANK
ADDRESS	101 MAIN STREET, LOGAN, UTAH 84321

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: 04.09.19
JOB NO: CVB HYRUM
SCALE: 3/16" = 1'-0"
DRAWN: JCW

SHEET
A201

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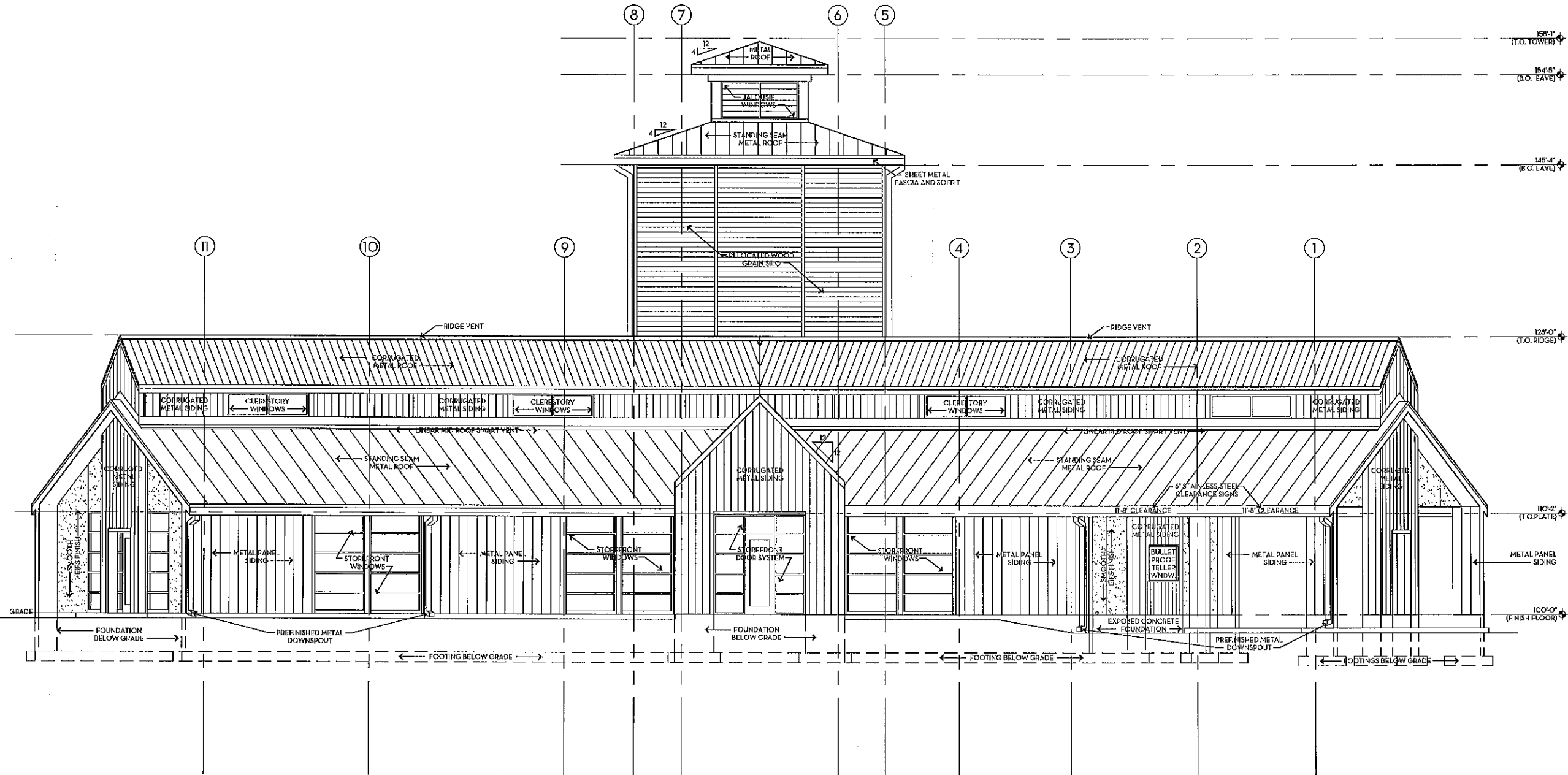


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MELIE DETTENMAIER 435.890.2009
CHRISTIAN WILSON 435.239.6662



TITLE EAST ELEVATION

PROJECT CACHE VALLEY BANK, HYRUM BRANCH

CLIENT CACHE VALLEY BANK

ADDRESS 101 MAIN STREET, LOGAN, UTAH 84321

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 04.09.19
JOB NO. CVB HYRUM
SCALE: 3/16" = 1'-0"
DRAWN: JCW

SHEET

A202

A1 EAST ELEVATION

SCALE: 3/16" = 1'-0"

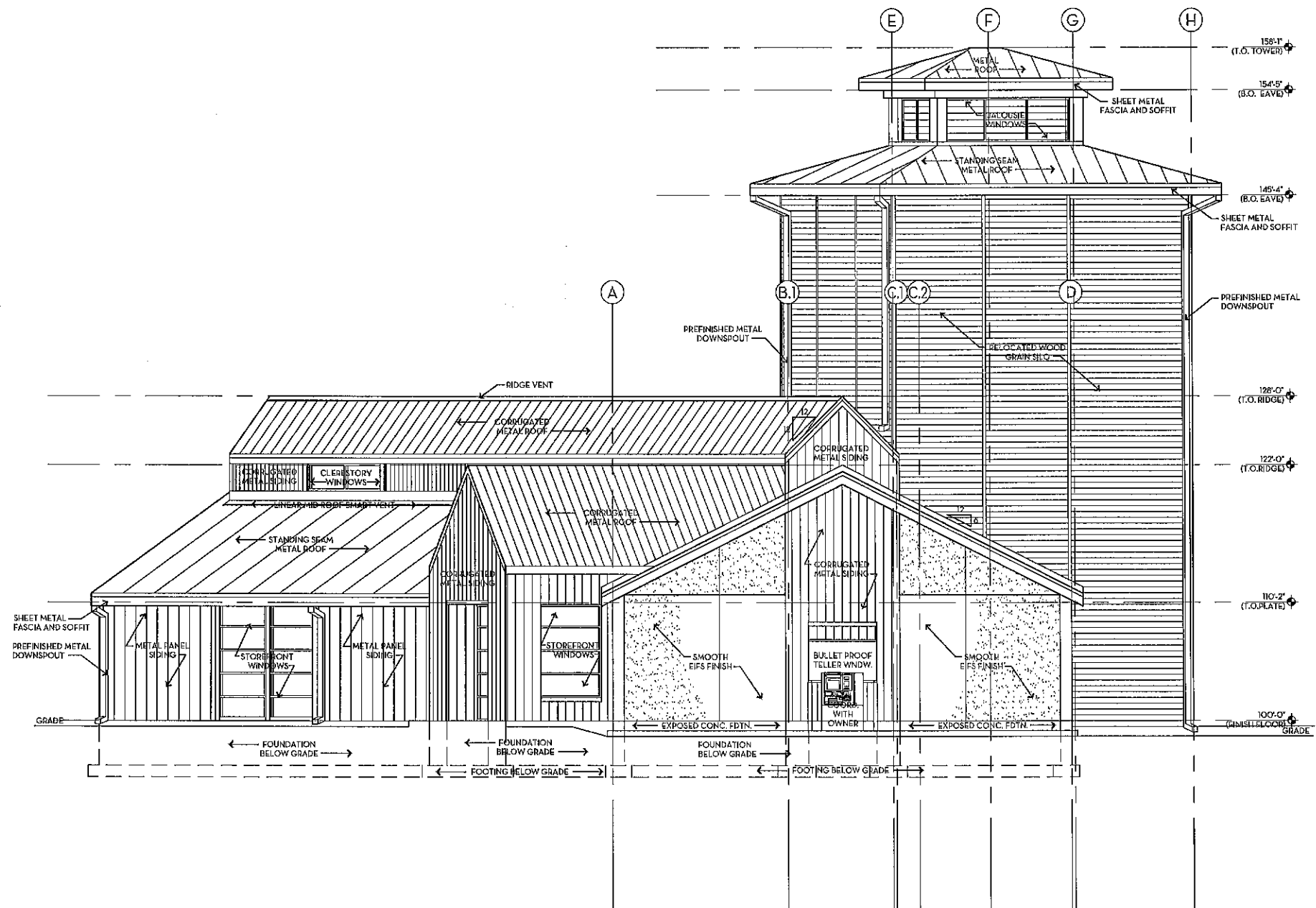
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CHRISTIAN WILSON 435.232.8602



A2 NORTH ELEVATION

SCALE: 3/16" = 1'-0"

TITLE	SOUTH ELEVATION
PROJECT	CACHE VALLEY BANK, HYRUM BRANCH
CLIENT	CACHE VALLEY BANK
ADDRESS	101 MAIN STREET, LOGAN, UTAH 84321

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: 04.09.19
JOB NO: CVB-HYRUM
SCALE: 3/16" = 1'-0"
DRAWN: JCW

SHEET
A203

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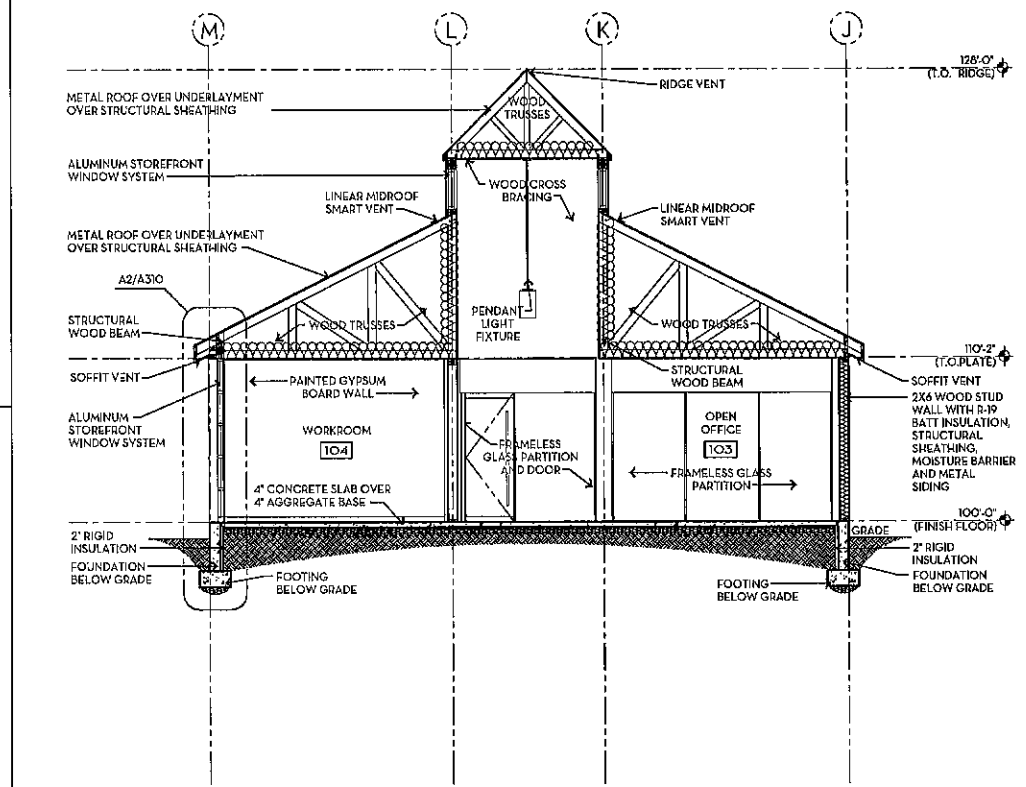
MELIE DEITENHAUER 453.890.2009
CHRISTIAN WILSON 435.232.8662

TITLE	BUILDING SECTIONS
PROJECT	CACHE VALLEY BANK, HYRUM BRANCH
CLIENT	CACHE VALLEY BANK
ADDRESS	101 MAIN STREET, LOGAN, UTAH 84321

REVISIONS		
NO.	DATE	DESCRIPTION

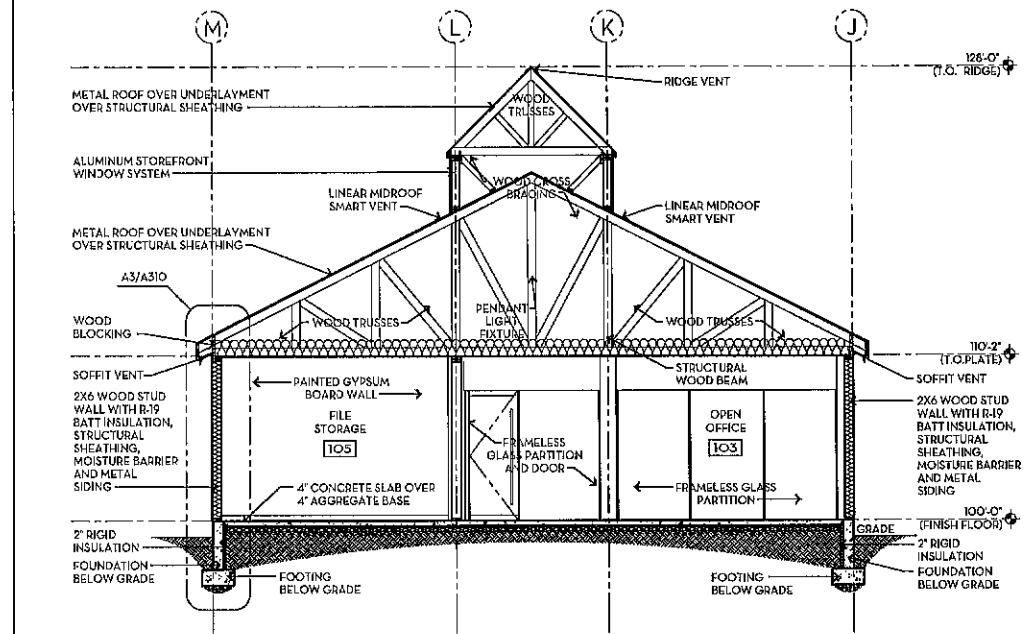
DATE 04.09.19
JOB NO. CVB-HYRUM
SCALE: 3/16" = 1'-0"
DRAWN JCW

SHEET
A300



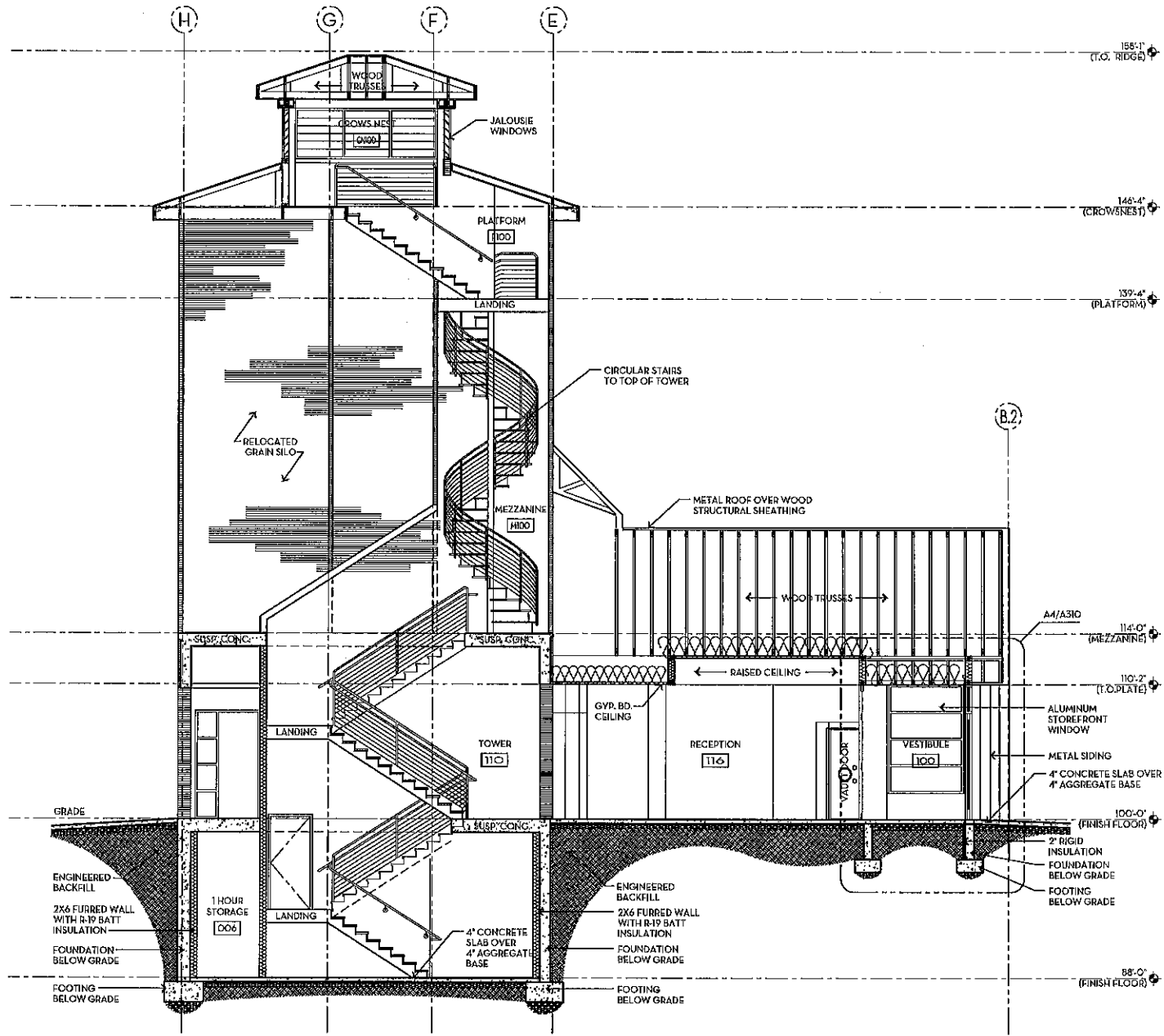
C4 BUILDING SECTION C-C

SCALE: 3/16" = 1'-0"



A4 BUILDING SECTION B-B

SCALE: 3/16" = 1'-0"



A1 BUILDING SECTION A-A

SCALE: 3/16" = 1'-0"