

FINAL PLAT
COBBLECREEK TOWNHOMES
~230 NORTH 800 EAST
CITY COUNCIL MEETING
AUGUST 1, 2019

Utilities:

All are available in this area. A sewer and irrigation main runs down the West side of the highway. Water and electrical lines are available on the East side of the Highway.

Roads:

These will be private roads within the development. They will need to complete a UDOT access permit for this change of use. The Preliminary approval has been accomplished.

Signage:

They will have an entrance sign. (Stucco covered wood frame is proposed)

Fencing: Vinyl fence around the East, North & South sides of the development. West of Townhomes will be a decorative fence between commercial and residential space.

Landscaping:

To meet multi-family code requirements. Playground equipment required. (More than 12 units) Walking path being added around the perimeter of the storage units.

HOA:

Other:

They will also be demolishing the one row of storage units on this parcel of property. The commercial pads will be left open until a business to come to this location. Site Plan approval will be requested at that time specific to what is proposed. Until the commercial property is developed, the property owner has agreed to maintain some lawn and keep this area groomed. The Planning Commission recommended the City work with the owner to provide irrigation priced water while this commercial property is temporarily cared for. The UHAUL business is being discontinued. The small existing shed will be moved to the commercial area to be used as a yard shed for sprinkler controls and maintenance equipment for the owner to maintain this area until it is developed as needed. The plan as now proposed meets the 50% open space requirement for the residential area. A few items are being worked out on the construction drawing with the City Engineer that they will have completed before our preconstruction meeting.

COBBLECREEK TOWNHOMES

PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

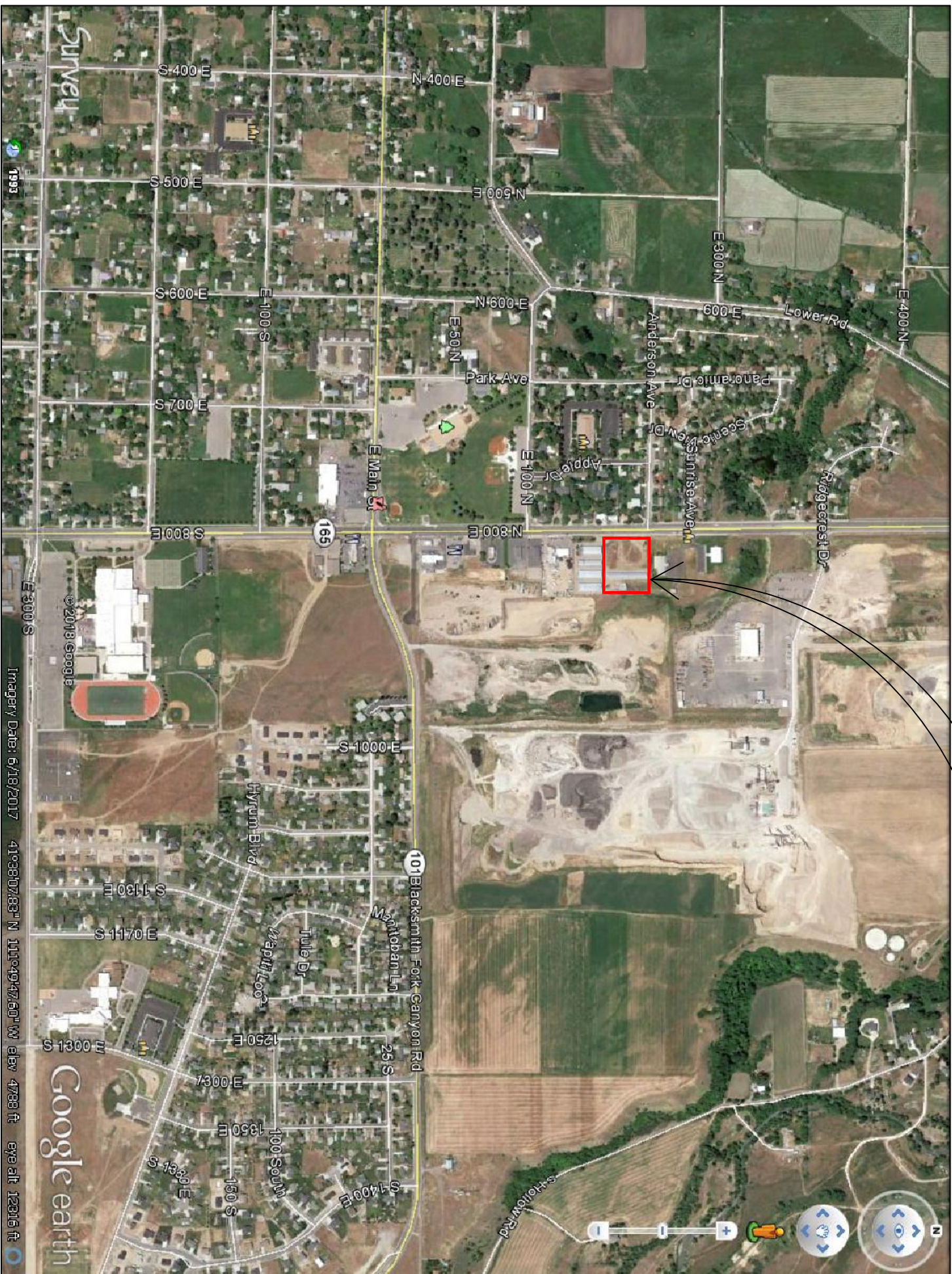
INDEX SHEET



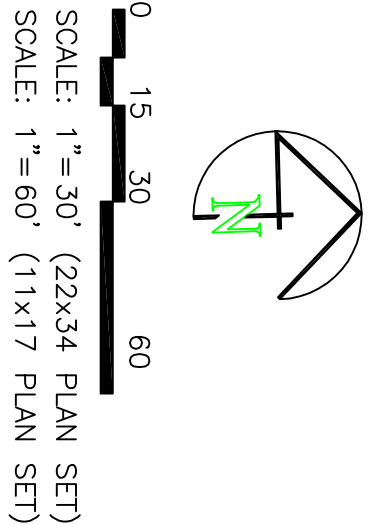
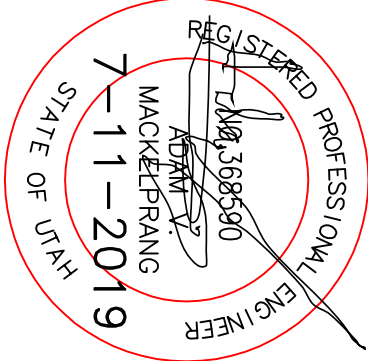
GENERAL NOTES (APPLICABLE TO ALL CIVIL SHEETS):

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTORS RISK AND EXPENSE IF ERRORS OCCUR.
3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC & PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
7. CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
8. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTORS EXPENSE.
9. DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
10. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCES AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
11. THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTION CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
12. CONTRACTOR IS REQUIRED TO HAVE A SET OF PLANS ON THE SITE AT ALL TIMES. ANY WORK COMPLETED WITHOUT A SET PRESENT IS DONE SO AT THE CONTRACTORS RISK AND EXPENSE IF ERRORS OCCUR.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABEATEMENT, COMPACTION, ETC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIAL, STORMWATER SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
15. ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THE REQUIREMENTS OF THE TRANSPORTATION AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
16. THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
17. ON SLOPING AREAS THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MITIGATE ANY POSSIBLE EROSION PROBLEMS IN THE TRENCHES DUE TO STORM WATER THAT MIGHT OCCUR DURING OR AFTER CONSTRUCTION AS DIRECTED OR APPROVED BY ENGINEER.
18. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
19. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
20. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY, AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
22. ALL GATE VALVES SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
23. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC. TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REQUIREMENTS. THE ENGINEER SHALL REVIEW ALL REQUIRED GROUES, ALIGNMENTS AND COVER REQUIREMENTS.
24. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING.
25. ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
26. ONE WYAR AND ONE PAPER SET OF AS BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS.

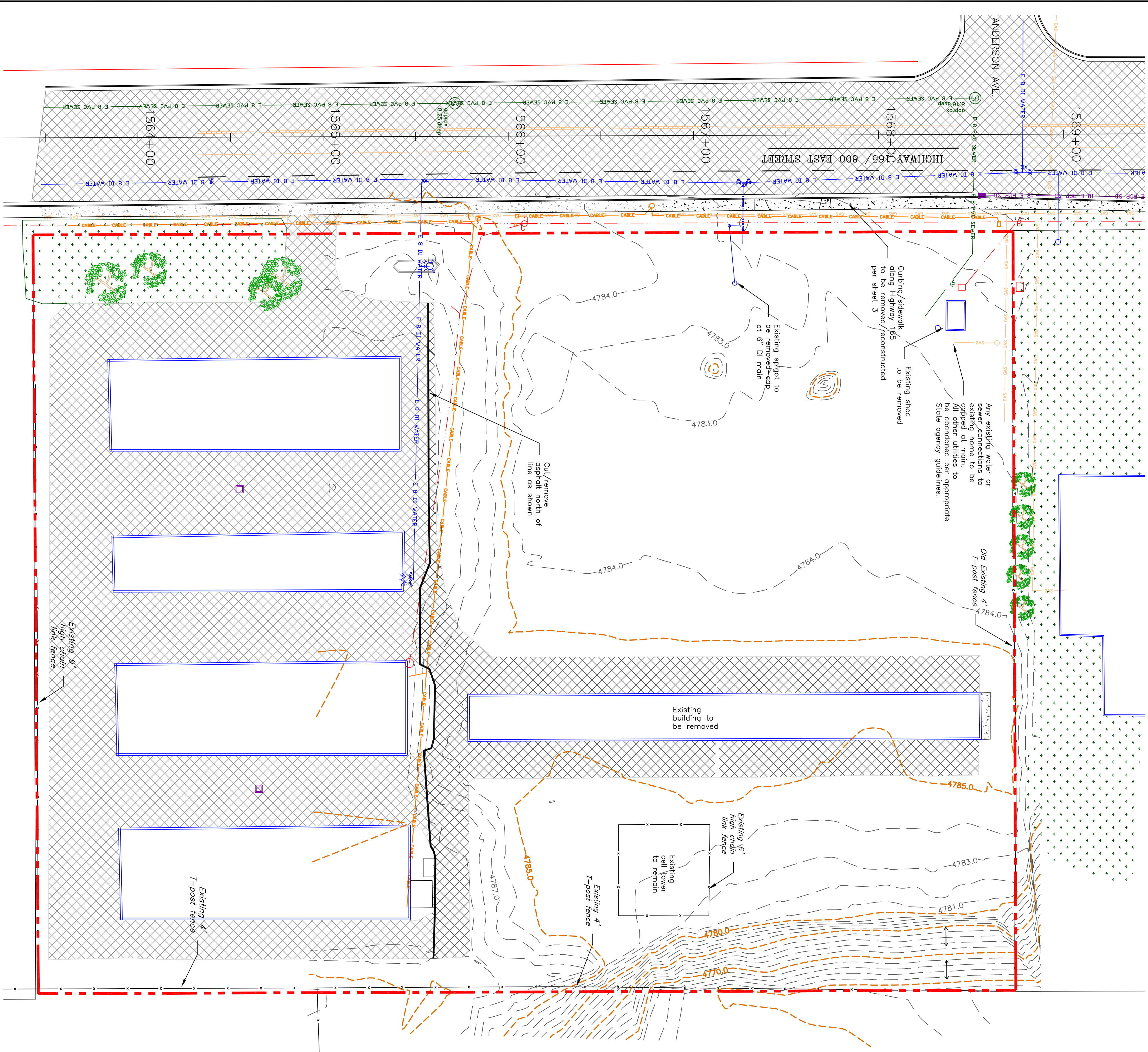
PROJECT



COBBLECREEK TOWNHOMES
PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH
EXISTING SITE



SCALE: 1" = 30' (22x34 PLAN SET)
SCALE: 1" = 60' (11x17 PLAN SET)

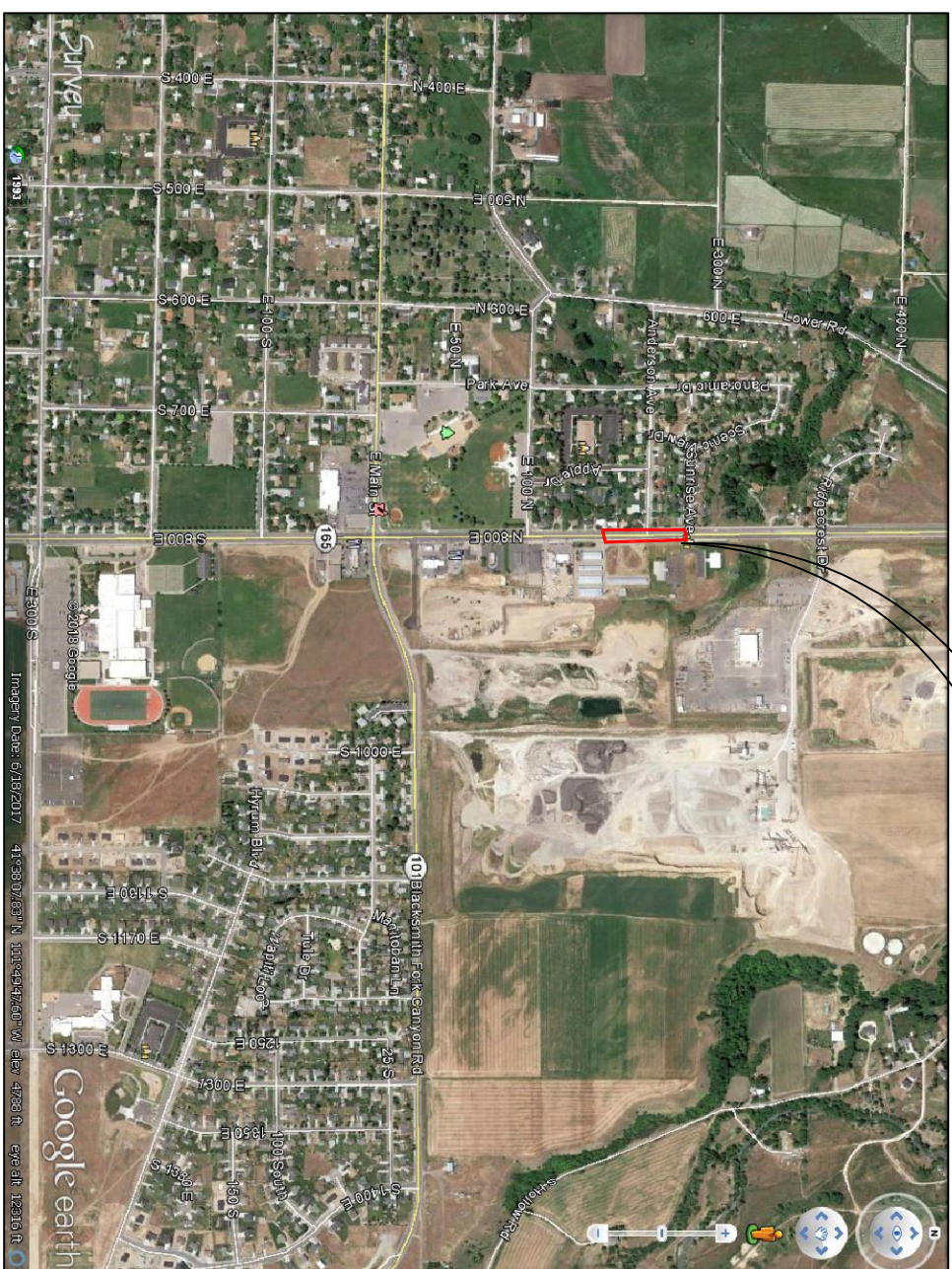


LEGEND

	BOUNDARY LINE
	EXISTING WATER
	EXISTING SEWER
	EXISTING FENCE
	EXISTING CABLE/PHONE
	EXISTING POWER
	EXISTING GAS
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING LANDSCAPING

Contractor to verify all utility sizes and types at connection points. The design engineer and City shall be notified immediately of any variations from what is shown on the plans.

REVISION			
DATE	BY		
		AE ALLIANCE CONSULTING ENGINEERS	
		150 EAST 200 NORTH SUITE P LOGAN, UTAH 84321	
		COBBLECREEK TOWNHOMES EXISTING SITE	
		PART OF THE NORTH EAST QUARTER OF SECTION 10 TOWNSHIP 10 NORTH RANGE 1 EAST SALT LAKE BASE AND MERIDIAN 226 NORTH, 800 EAST HYRUM, UTAH	
SCALE:	AS NOTED	DRAWN BY:	AM
		CHECKED BY:	AM
		DWG DATA:	Job#FrdmV1.dwg

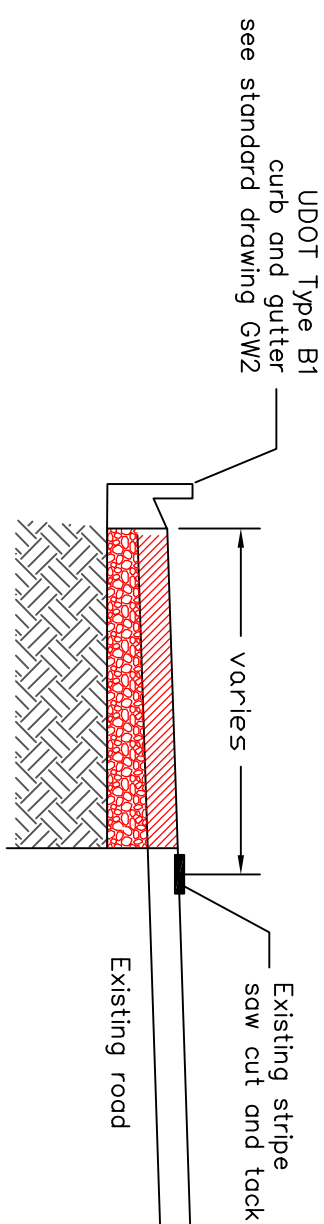


PROJECT

COBBLE CREEK TOWNHOMES

PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

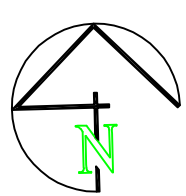
HIGHWAY 165 CONSTRUCTION PLAN



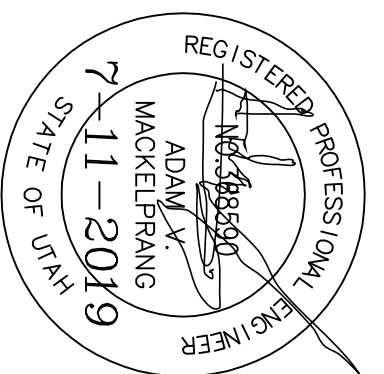
DRIVEWAY CROSS-SECTION IN STATE RIGHT-OF-WAY
SEE UDOT STANDARD DRAWING G44 FOR MORE INFORMATION

NOTE: Minimum asphalt width within UDOT right-of-way is 8 feet, or the anticipated existing of 8 inches of UDOT- approved hot mix asphalt combined with the UDOT ROW match existing, per asphalt (TMA), Type III, grade 64–34 asphalt binder, 1/2 inch nominal max. 7.5–15 gynes specification (2001); one 6-inch untextured base course (UBC) per UDOT standard specification (2001); one 6-inch untextured base course (UBC) per UDOT standard specification (2021) over 18 inches granular borrow material (2001). The minimum depth of the shoulder shall be 18 inches.

The method of sealing the pavement, Chip Seal Type II with emulsion LKMS-2 or UDOT standard specification 1D278 (estimated application rate of 0.45 gal/sq yd) is required for this roadway on at least one new pavement piece within UDOT right-of-way. Edge of existing pavement must be sawcut. All sawcut lines must be located either at designated lane lines or designed center of travel line. Sawcuts must be cleaned and a tack-coat applied before asphalt placement.



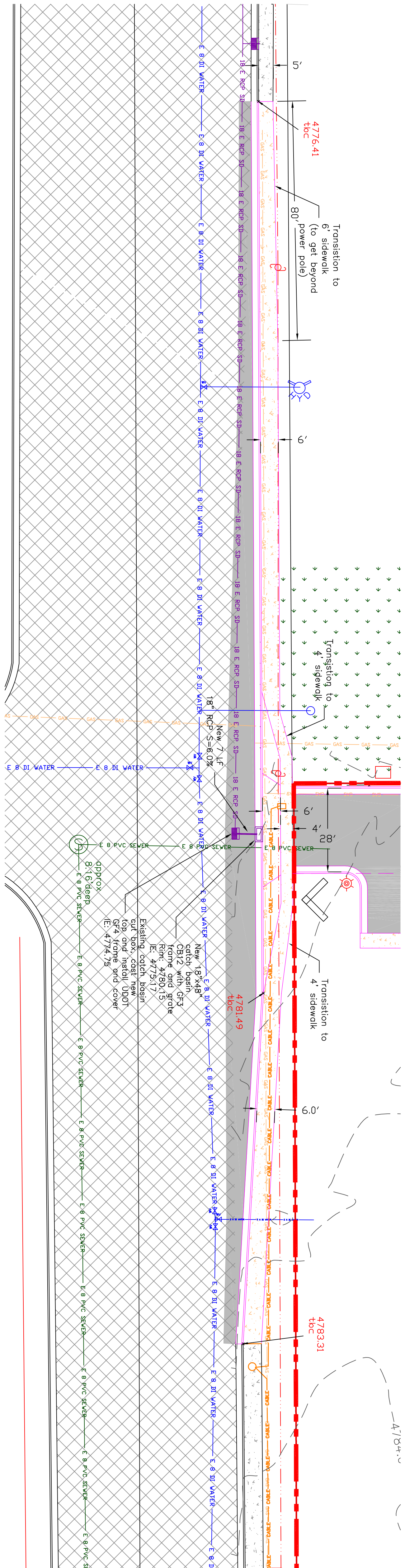
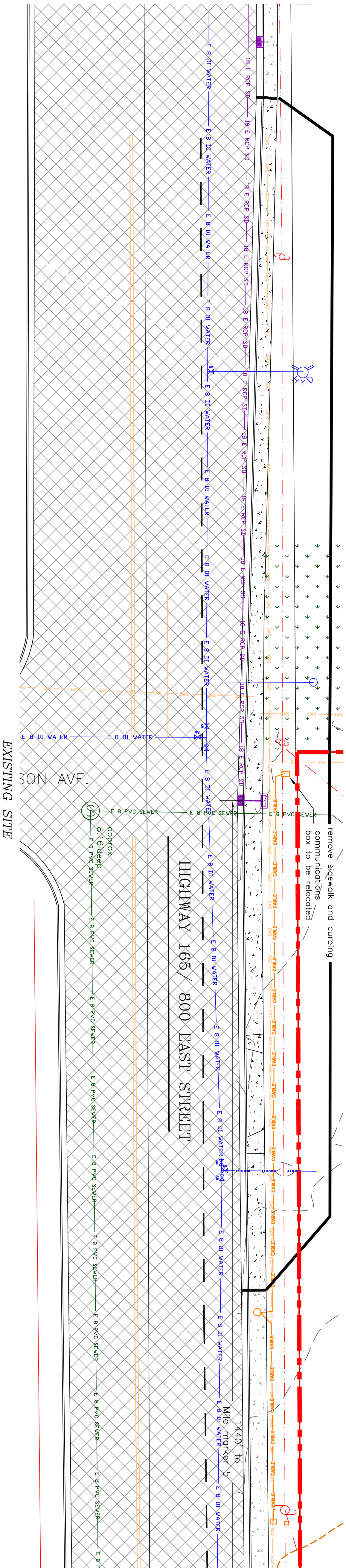
0 10 20 40
SCALE: 1"=20' (22x34 PLAN SET)
SCALE: 1"=40' (11x17 PLAN SET)



-
- LEGEND**
- SUBDIVISION
 - BOUNDARY LINE
 - EXISTING EASEMENT
 - EXISTING CABLE/PHONE
 - EXISTING POWER
 - EXISTING GAS
 - EXISTING WATER
 - EXISTING SEWER
 - EXISTING 'I' CONTIGUOUS
 - EXISTING 'S' CONTIGUOUS
 - EXISTING CONCRETE
 - NEW CONCRETE
 - EXISTING ASPHALT
 - NEW ASPHALT

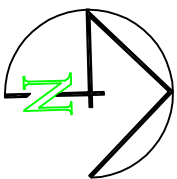
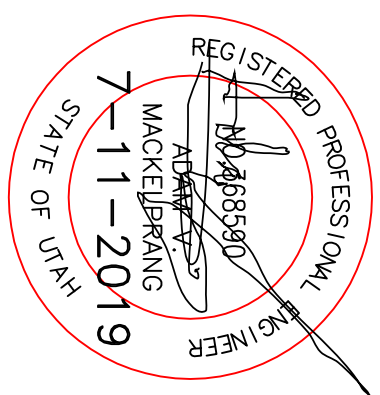
NOTES

1. A two day notice is required before any staking will be performed.
2. The cost of any restaking will be the responsibility of the contractor.
3. There will be no mandatory pre-construction meeting.
4. The contractor shall leave construction zone free from mud, dirt and debris.
5. All construction performed within the R-0-W way of 800 EAST shall be done as per UDOT standards and specifications.
6. See UDOT standards drawing series GN for all curb and gutter and sidewalk within the UDOT right-of-way.

[illegible]

COBBLECREEK TOWNHOMES
PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

SITE PLAN

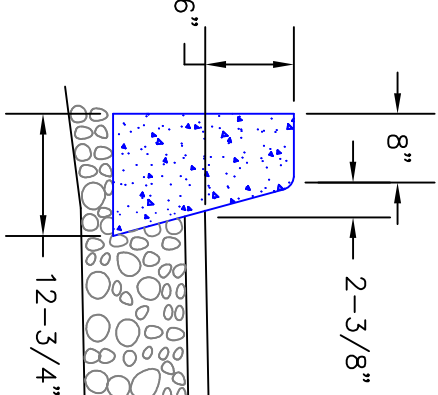


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SCALE: 1"=60' (11x17 PLAN SET)

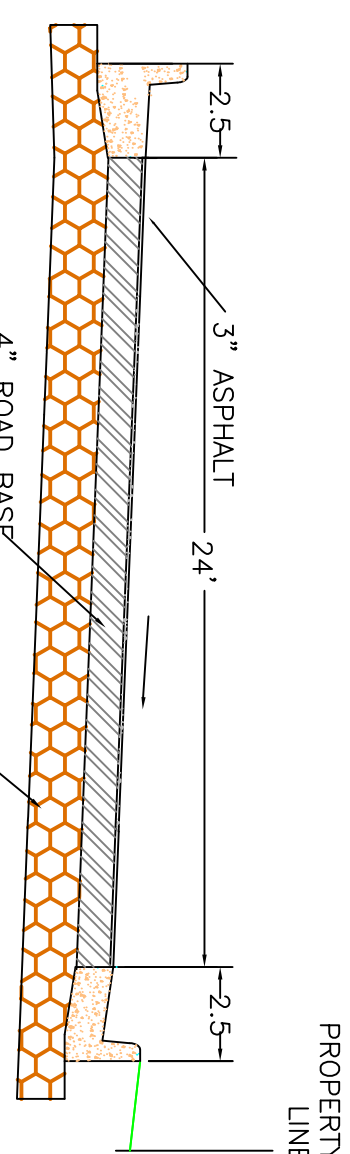
SITE REFERENCE NOTES

- 3" ASPHALT OVER PROPERLY PREPARED BASE COURSE. DRAIN AS PER GRADING/DRAINAGE PLAN.
- 4" CONCRETE SIDEWALK w/ 4" GRAVEL BASE PER CITY STANDARD
- PAINTED PARKING LOT STRIPING.
- 6" HIGH BACK CURB
- 4" WIDE VALLEY GUTTER (APWA PLAN 211)
- LANDSCAPING (SEE LANDSCAPE PLAN)
- 8X20' DUMPSER PAD
- CURB ENDINGS
- 30" INFLOW CURBING
- 30" OUTFLOW CURBING

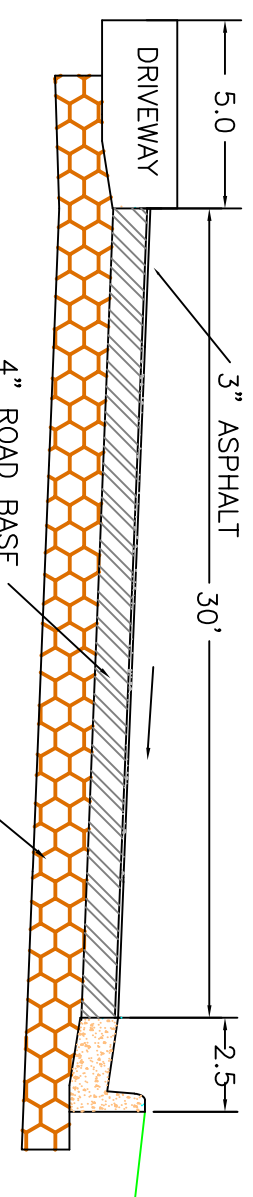
- LEGEND
- SUBDIVISION
 - BOUNDARY LINE
 - EXISTING FENCE
 - NEW FENCE
 - NEW EXTERIOR LIGHT-PER DEVELOPER
 - EXISTING CONCRETE
 - NEW CONCRETE
 - EXISTING ASPHALT
 - NEW ASPHALT
 - PROPERTY LINE
 - ROAD LABEL



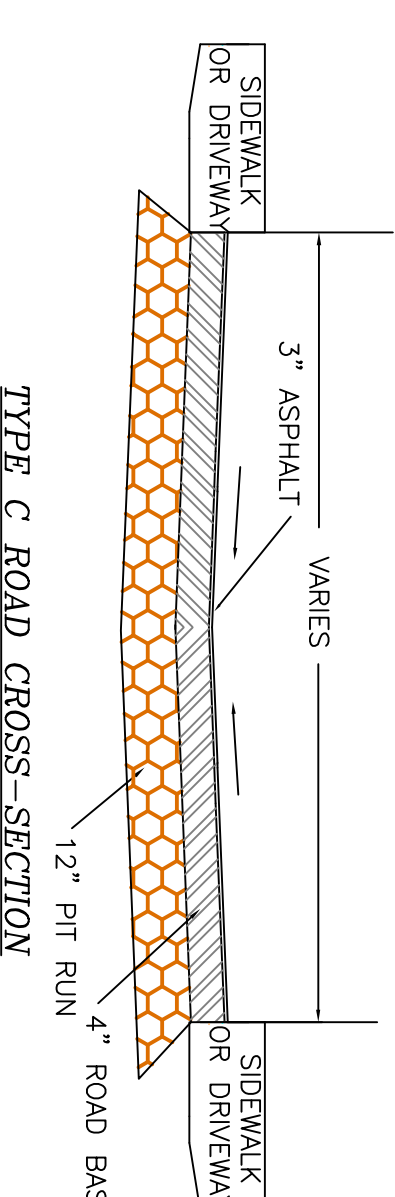
6" HIGH BACK CURB DETAIL
NOT TO SCALE



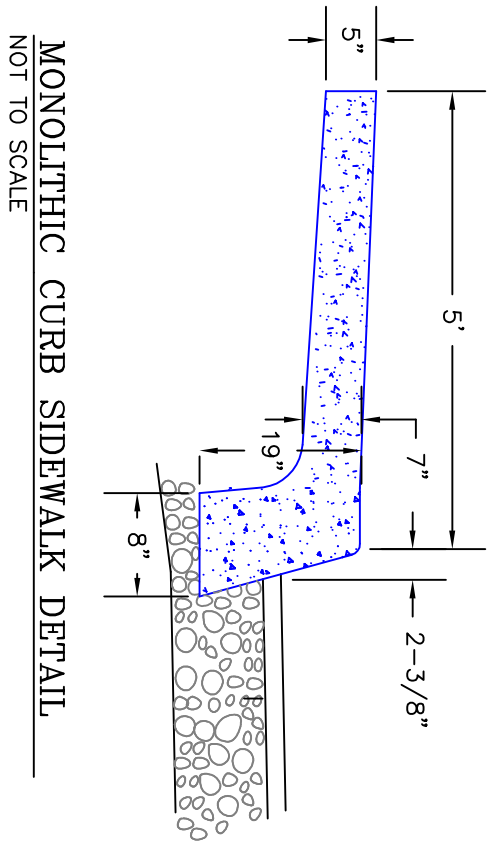
TYPE A ROAD CROSS-SECTION
NOT TO SCALE



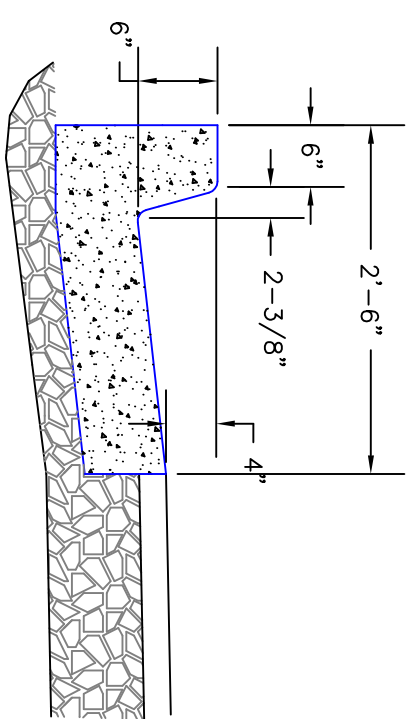
TYPE B ROAD CROSS-SECTION
NOT TO SCALE



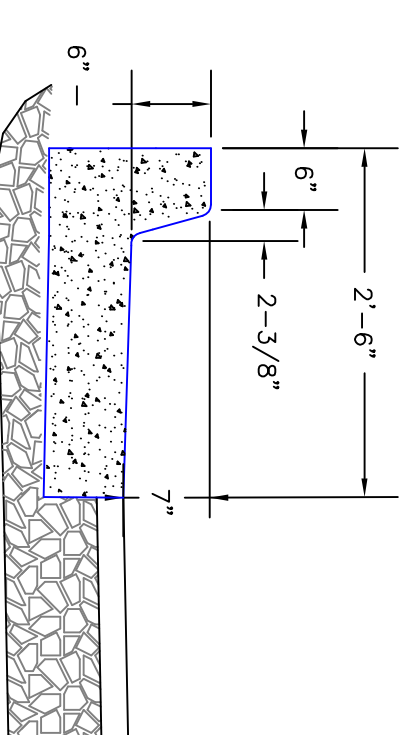
TYPE C ROAD CROSS-SECTION
NOT TO SCALE



MONOLITHIC CURB SIDEWALK DETAIL
NOT TO SCALE



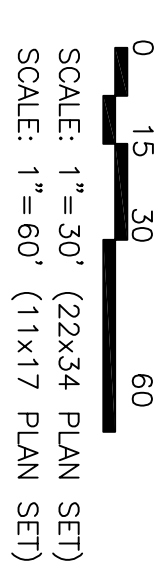
INFLOW CURB AND GUTTER DETAIL
NOT TO SCALE



OUTFLOW CURB AND GUTTER DETAIL
NOT TO SCALE

REVISION	
DATE	BY
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PART OF THE NORTH EAST QUARTER OF SECTION 1
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH



1. STUCCO COVERED WOOD FRAMED SUBDIVISION ENTRANCE SIGN
2. 6' HIGH PRIVACY FENCE TO BE INSTALLED ON THE NORTH AND SOUTH PROPERTY LINE.
3. IRRIGATION SYSTEM WILL BE DESIGNED BY LANDSCAPE CONTRACTOR. LAWN AREAS WILL BE DESIGNED FOR HEAD TO HEAD COVERAGE AND ALL PLANTING AREAS WILL BE DRIP IRRIGATED.

BOUNDARY LINE

NEW FENCE

NEW LIGHT

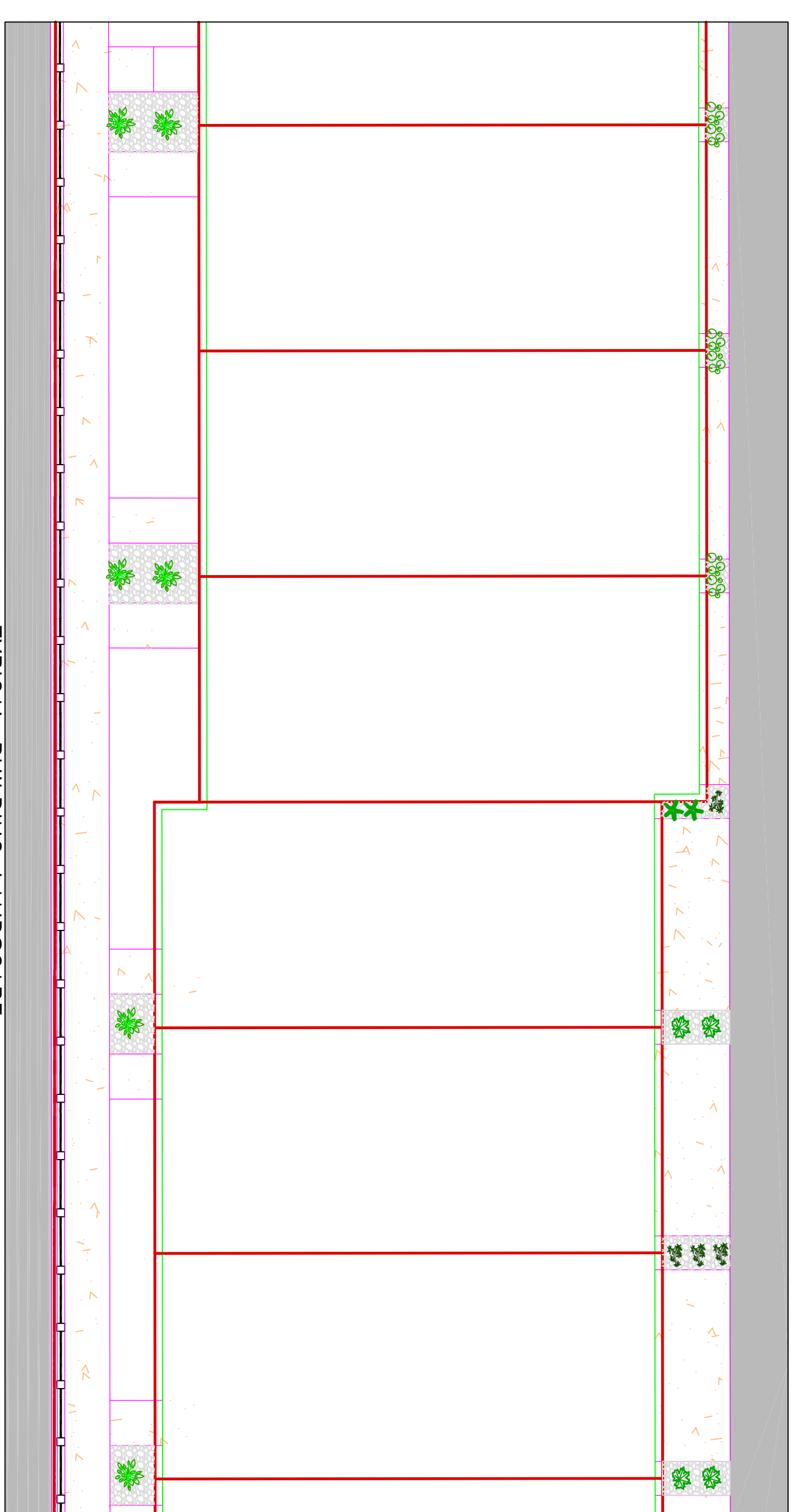
NEW CONCRETE

NEW CONCRETE

3 INCH MINUS ROCK MULCH

EXISTING GRASS

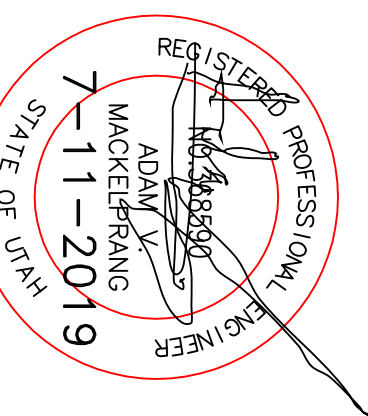
- | | |
|---|--------------------------------------|
|  | Doy ily (26) |
|  | Veronica umbrosa "Georgia blue" (21) |
|  | Masoun evening primrose (14) |
|  | Blazing star larkspur (10) |
|  | Oregon grape (20) |
|  | Prairie fire crockpot |
| | 1- $\frac{1}{2}$ " col (6) |
|  | Prairie rose crockpot |
| | 1- $\frac{1}{2}$ " col (8) |
|  | Spring snow crockpot |
| | 1- $\frac{1}{2}$ " col (2) |
|  | Autumn blaze maple |
| | 1- $\frac{1}{2}$ " col (2) |
|  | Chanticleer pear |
| | 1- $\frac{1}{2}$ " col (5) |
|  | Golden rain tree |
| | 1- $\frac{1}{2}$ " col (5) |
|  | Savin juniper |
| | 1- $\frac{1}{2}$ " col (4) |
|  | Tiny tower dwarf alberta spruce |
| | 1- $\frac{1}{2}$ " col (5) |
|  | Dwarf globe blue spruce |
| | 1- $\frac{1}{2}$ " col (5) |

[illegible]

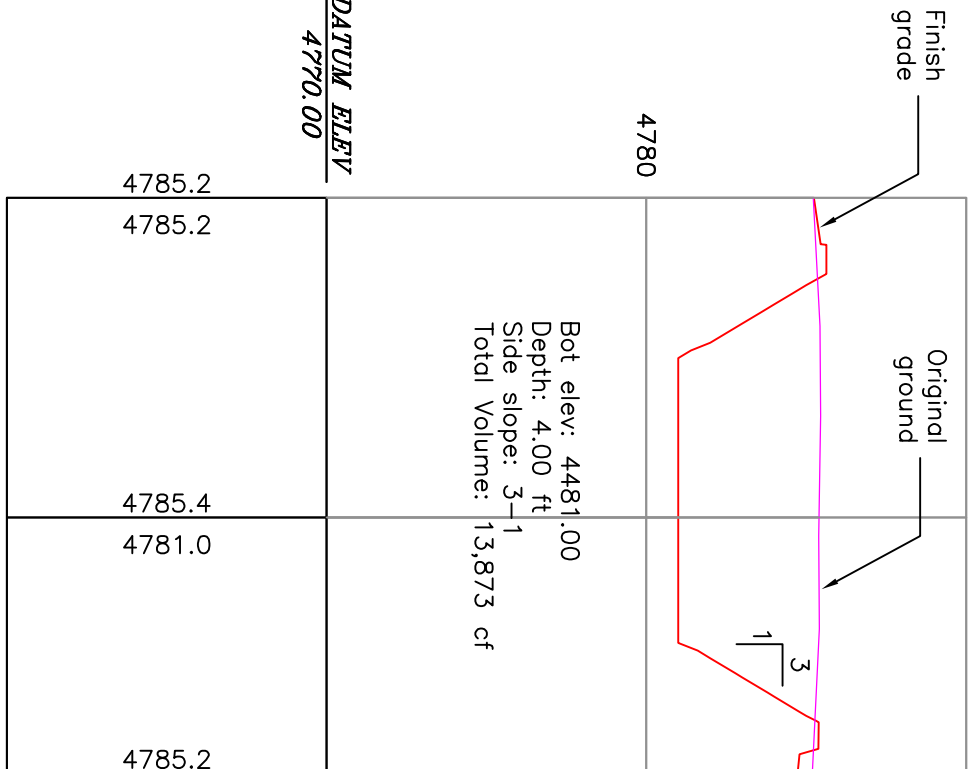
COBBLECREEK TOWNHOMES
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DRAINAGE PLAN

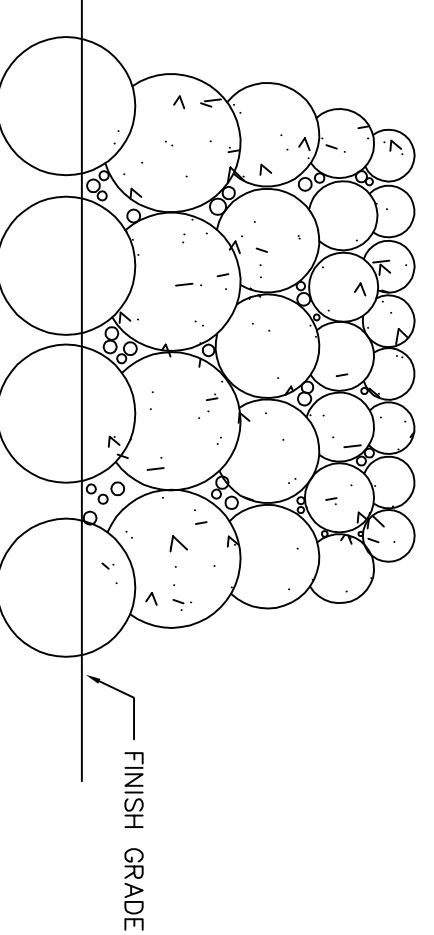
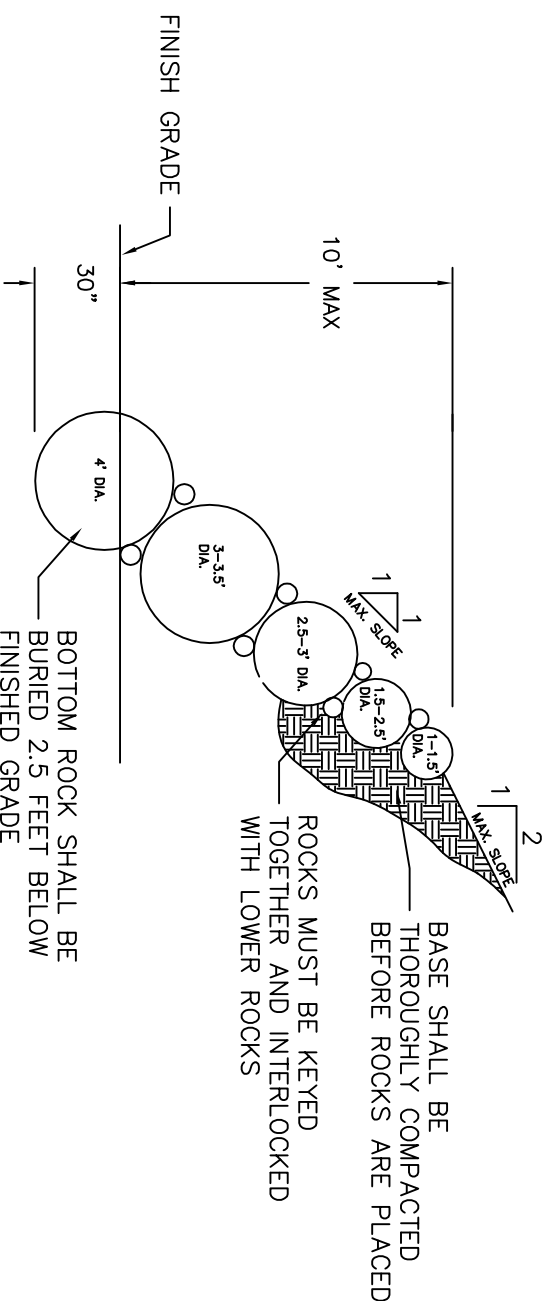
- LEGEND
- PROPERTY LINE
 - EXISTING STORM LINE/GB
 - NEW STORM LINE/GB
 - EXISTING MNR CONTOUR (1')
 - EXISTING MNR CONTOUR (5')
 - PROPOSED MNR CONTOUR (0.5')
 - PROPOSED MNR CONTOUR (2.5')



SCALE: 1"=30' (22x34 PLAN SET)
SCALE: 1"=60' (11x17 PLAN SET)



POND DETAIL

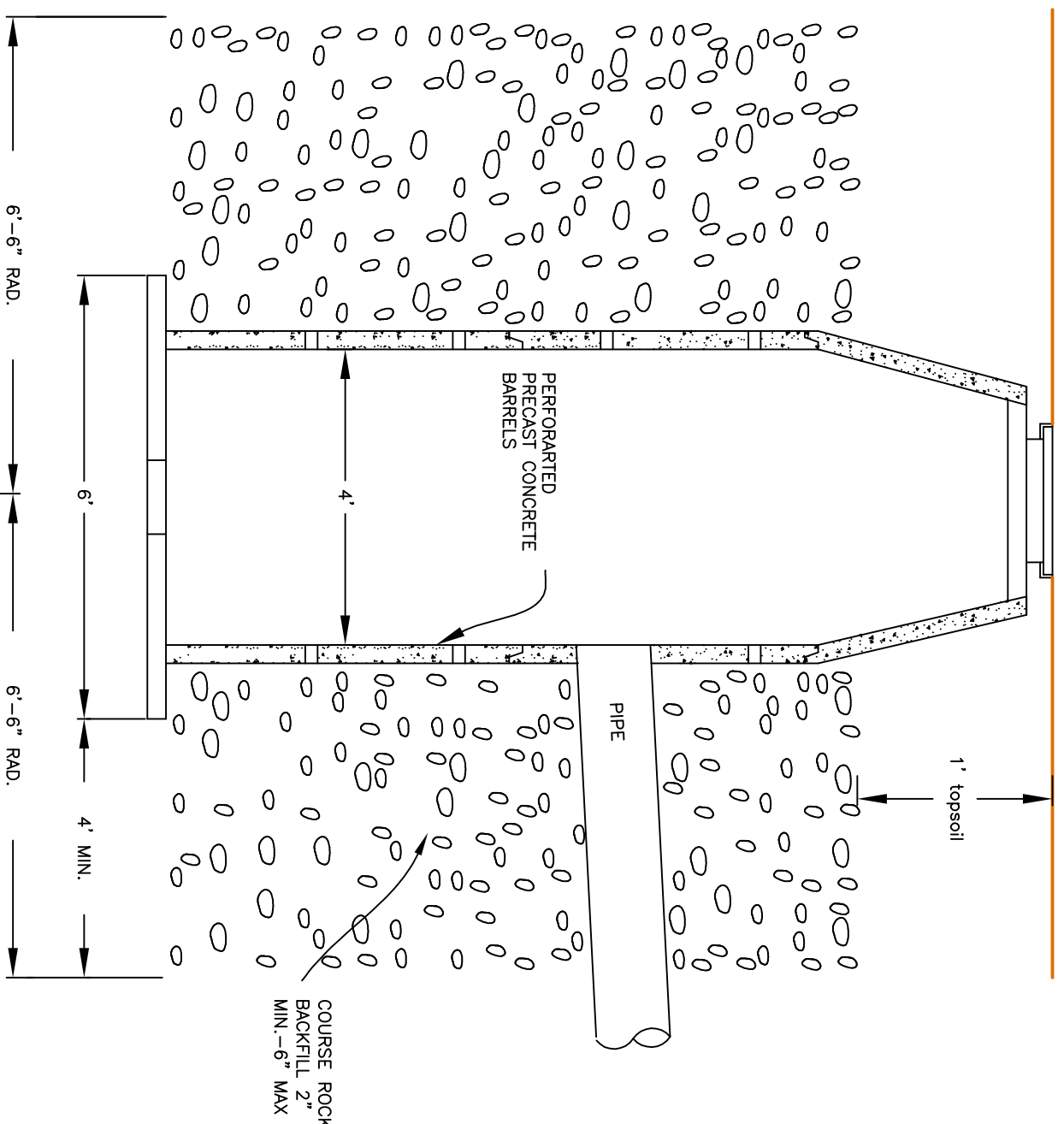


- NOTES:
- THE ROCKS SHALL BE HARD, DURABLE, AND ANGULAR. STONES AND SHALL INTERLOCK WITH ADJACENT ROCKS.
 - THE ROCKS SHALL BE SET SO AS NOT TO EXCEED A 1 TO 1 SLOPE AS SHOWN.
 - LARGE IRREGULARITIES BETWEEN STONES SHALL BE FILLED WITH ROCK SPALLS OF SUITABLE SIZE RAMMED TIGHTLY INTO PLACE FROM THE BOTTOM TO THE TOP.

ROCK WALL DETAIL

SUMP DETAIL

NOT TO SCALE

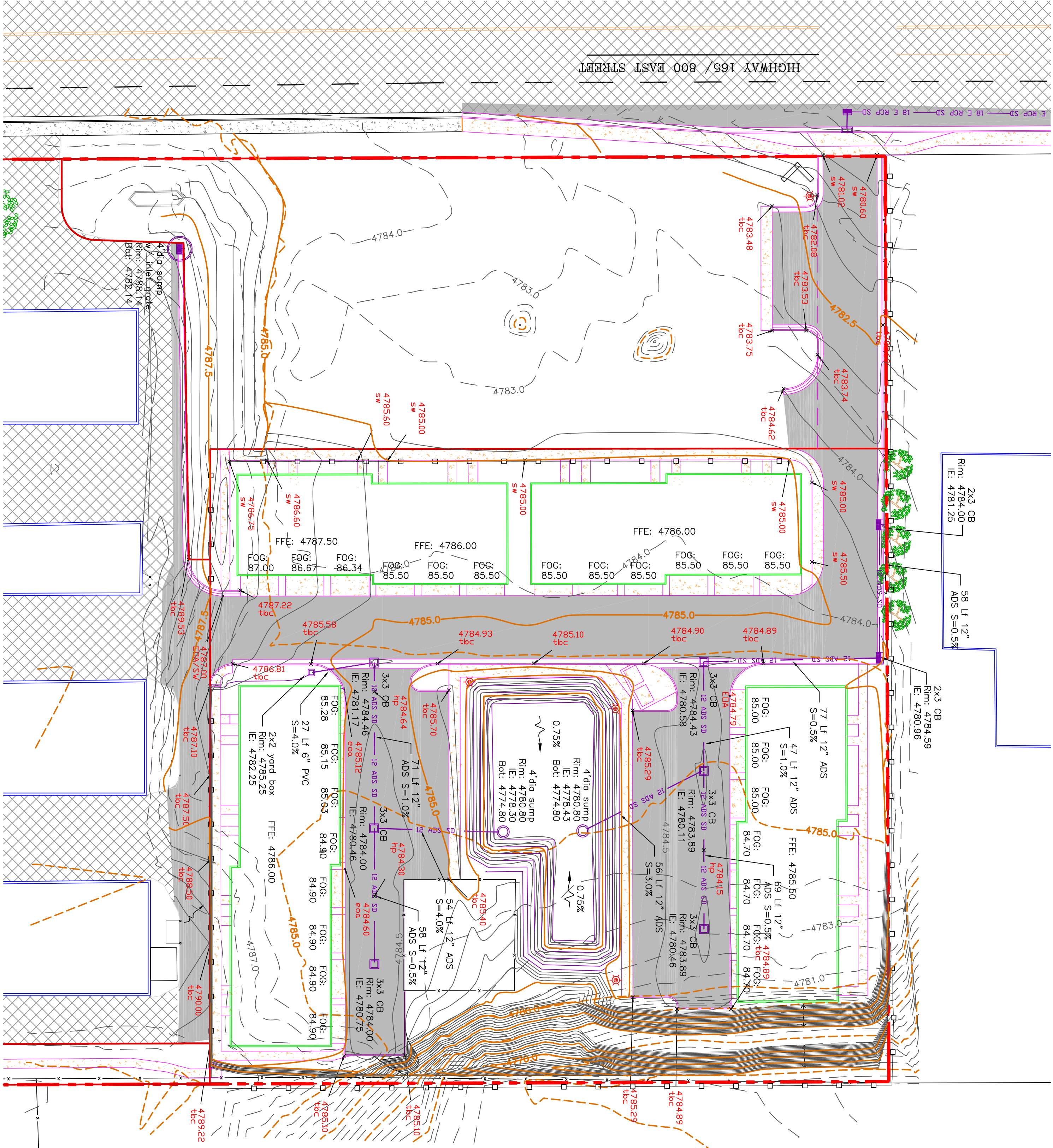


VOLUME REQUIRED FOR POND
100 YR 24 HR STORM: 3.15 INCHES (NOAA ATLAS 14)
100 YR 10 MIN STORM: 0.25 INCHES
VOLUME: (3.15 IN)*(0.73)*(1.61 ACRES) = 13,444 CF

STORM WATER FOR THE COMMERCIAL AREA WILL BE RETAINED IN SUMPS LOCATED IN THE ROADS AND WILL BE CALCULATED AND DESIGNED WHEN SAID AREA IS SUBMITTED FOR FINAL DESIGN.

STORM DRAINAGE CALCULATIONS

CONTRIBUTING DRAINAGE AREA: 70.158 S.E.(1.61 acres)
IMPERVIOUS AREA: 29,870 acres Road
24,300 SF Homes
24,170 acres total
C=IMPERVIOUS: 0.9
C_{PA}=48.753
REMAINING UNDEVELOPED AREA: 15,988 S.F.
C=UNDEVELOPED: 0.15
C_{PA}= 2.368
C=ROSL: 51151/ 70.158 = 0.73
LENGTH OF TYPICAL DRAINAGE PATH: 350 FEET
TIME OF CONCENTRATION: 350/180 +10= 11.94 MIN
1100=3.9 IN/HR



CONCRETE WALL DETAIL

