

**MOUNTAIN VIEW ESTATES SUBDIVISION
PHASE 2
CITY COUNCIL MEETING
APRIL 5, 2018
FINAL PLAT
~500 SOUTH & HAMMER ROAD**

ZONING- R-2 Allows Residential. Lots are all at least 12,000 sq. feet with 100 feet of frontage.

UTILITIES- Currently stubbed to this phase. A 10-inch culinary line will be installed in Hammer Road. This will loop back to 300 South.

CURB AND SIDEWALKS- A ribbon curb will be installed on all streets with sidewalks running in front of all homes.

ROADS- Sixty-eight-foot ROW on main roads and sixty-foot ROW on secondary streets.

STORM WATER- They will be installing swales in the planting strips.

FENCING- All homes will have a fenced backyard.

NOTES-

All construction drawings have been approved by the City Engineer.

MOUNTAIN VIEW ESTATES, PHASE 2
FINAL PLAT

LOCATED IN THE SOUTH HALF OF THE
NORTHEAST QUARTER OF SECTION 10,
TOWNSHIP 10 NORTH, RANGE 1 EAST OF
THE SALT LAKE BASE AND MERIDIAN
HYRUM CITY, CACHE COUNTY, UTAH
MARCH 2018

SURVEYOR'S CERTIFICATE

I, TIMOTHY LYNN CHRISTENSEN, A LICENSED LAND SURVEYOR IN THE STATE OF UTAH, DO HEREBY CERTIFY THAT A SURVEY WAS MADE UNDER MY DIRECTION OF THE PROPERTY DESCRIBED IN THIS BOUNDARY DESCRIPTION AND THAT THE PLAT UPON WHICH THIS CERTIFICATE APPEARS WAS MADE UNDER MY DIRECTION, THAT SAID PLAT SHOWS THE WHOLE OF THE DESCRIBED LAND WHICH IS KNOWN AS MOUNTAIN VIEW ESTATES, PHASE 2 IN CACHE COUNTY, UTAH; THAT SAID PLAT CORRECTLY REPRESENTS THE LOTS AS SURVEYED ON THE GROUND, AND THE PERTINENT PROVISIONS OF THE STATUTES OF THE STATE OF UTAH HAVE BEEN COMPLIED WITH. I FURTHER CERTIFY THIS IS A TRUE COPY OF SAID PLAT.

GENERAL NOTES:

1. CURRENT ZONE: R-2, RESIDENTIAL MULTI FAMILY.
2. TOTAL PHASE 2 AREA: 6.0 ACRES.
LOT AREA: 4.4 ACRES
DEDICATED ROAD AREA: 1.6 ACRES
3. LOTS: 16 LOTS
4. NO STRUCTURES MAY BE BUILT WITHIN ANY PUBLIC UTILITY EASEMENT. PUBLIC UTILITY EASEMENTS ARE 10.0 FT. ON THE FRONT AND 5.0 FT. ON THE SIDES AND BACK.
5. ALL EXPENSES INVOLVING THE NECESSARY IMPROVEMENTS OR EXTENSIONS FOR A CULINARY WATER SYSTEM, SANITARY SEWER SYSTEM, GAS SERVICE, ELECTRICAL SERVICE, TELEPHONE SERVICE, CABLE TELEVISION SERVICE, GRADING AND LANDSCAPING, STORM DRAINAGE SIGNAGE, STREET LIGHTING, CURBS AND GUTTERS, FIRE HYDRANTS, PAVEMENT, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE PAID FOR BY THE DEVELOPER.
6. SET BACKS SHOWN REFLECT CITY CODE AS OF DATE PLAT RECORDED. ALL BUILDINGS SHALL BE SUBJECT TO SETBACKS REQUIRED BY CITY CODES IN EFFECT WHEN PERMITS ARE ISSUED. ON THIS PLAT THEY ARE 30' ON FRONT, 30' ON BACK AND 10' ON SIDES OR 25' ON SIDE IF SIDE IS ON A ROADWAY. THE SETBACK IS 40' ALONG NORTH SIDE OF SUBDIVISION DUE TO IRRIGATION EASEMENT.
7. THIS PROPERTY IS LOCATED IN THE VICINITY OF PROPERTY THAT IS USED FOR AGRICULTURAL PURPOSES. IT MAY BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY OR MAY NOT IN THE FUTURE BE CONDUCTED IN THIS AREA AND SUCH USES ARE PREVIOUSLY EXISTING USES. AGRICULTURAL USES AND SITUATIONS MUST BE SOUND AGRICULTURAL PRACTICES AND NOT BEAR A DIRECT THREAT TO THE PUBLIC HEALTH AND SAFETY.
8. THERE IS AN EXISTING RIGHT OF WAY EASEMENT TO BIG TOM TURKEY FARM TO MAINTAIN IRRIGATION PIPELINES AND LATERALS ALONG THE NORTH LINE OF LOTS 1 THROUGH 6. THE REAR BUILDING SETBACK FOR LOTS 24 THROUGH 27 IS 40.00 TO AVOID HOME CONSTRUCTION CONFLICTING WITH THE BURIED IRRIGATION LINE.
9. THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE THE UNDERSIGNED, ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS, TO BE HEREINAFTER KNOWN AS MOUNTAIN VIEW ESTATES PHASE 2. WE HEREBY DEDICATE FOR PUBLIC USE, AND DO WARRANT, DEFEND AND SAVE THE CITY OF HYRUM HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE MUNICIPALITY'S USE, OPERATION AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN WITH THE SAME WARRANTY AS GIVEN FOR THE OTHER DEDICATED PROPERTY.

IN WITNESS WE HAVE HEREUNTO SET OUR SIGNATURES THIS _____ DAY OF _____ 2018.

KIM DATWYLER, EXECUTIVE DIRECTOR
NEIGHBORHOOD NON-PROFIT HOUSE CORP.

TROY KARTCHNER, MANAGING MEMBER
ELK MOUNTAIN, LLC

CORPORATE ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF CACHE) : SS

ON THIS _____ DAY OF _____ 2018, PERSONALLY APPEARED BEFORE ME, KIM DATWYLER, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT SHE IS THE EXECUTIVE DIRECTOR OF NEIGHBORHOOD NON-PROFIT HOUSING CORPORATION AND SAID DOCUMENT WAS SIGNED BY HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID KIM DATWYLER ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR _____
RESIDING AT: _____
MY COMMISSION EXPIRES: _____

ACKNOWLEDGEMENT BY LIMITED LIABILITY COMPANY

STATE OF _____)
COUNTY OF _____) : SS

ON THIS _____ DAY OF _____ 2018 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED TROY KARTCHNER, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGING MEMBER OF ELK MOUNTAIN, LLC, THE OWNER OF THE ABOVE DESCRIBED SUBDIVISION AND THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.

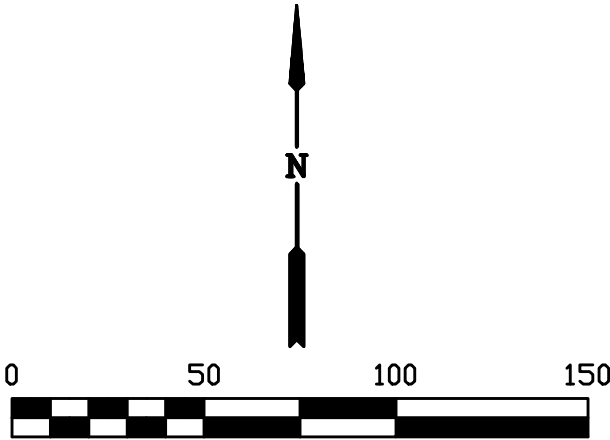
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR _____
RESIDING AT: _____
MY COMMISSION EXPIRES: _____

LEGAL DESCRIPTION
FOR
MOUNTAIN VIEW ESTATES, PHASE 2

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, CACHE COUNTY, UTAH AND FURTHER DESCRIBED AS FOLLOWS:
BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 10, FROM WHICH THE NORTHEAST CORNER OF SECTION 10 BEARS NORTH 00° 24' 20" WEST 2645.71 FEET;
THENCE NORTH 00° 24' 20" WEST 734.66 FEET ALONG THE EAST BOUNDARY OF SAID SECTION 10 TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00° 24' 20" WEST 588.20 FEET TO A FOUND 5/8" REBAR WITH CAP SET ON THE NORTH LINE OF THE SOUTH HALF OF THE SAID NORTHEAST QUARTER;
THENCE NORTH 89° 57' 56" WEST 441.87 FEET ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF MOUNTAIN VIEW ESTATES, PHASE 1, THE FINAL PLAT FOR WHICH IS RECORDED IN THE OFFICE OF THE CACHE COUNTY RECORDER AS # 1177249;
THENCE SOUTH 00° 01' 37" EAST 588.11 FEET ALONG THE EAST LINE OF SAID PHASE 1 TO THE SOUTHEAST CORNER THEREOF;
THENCE SOUTH 89° 57' 24" EAST 445.76 FEET TO THE TRUE POINT OF BEGINNING.
CONTAINING 6.0 ACRES OF LAND.

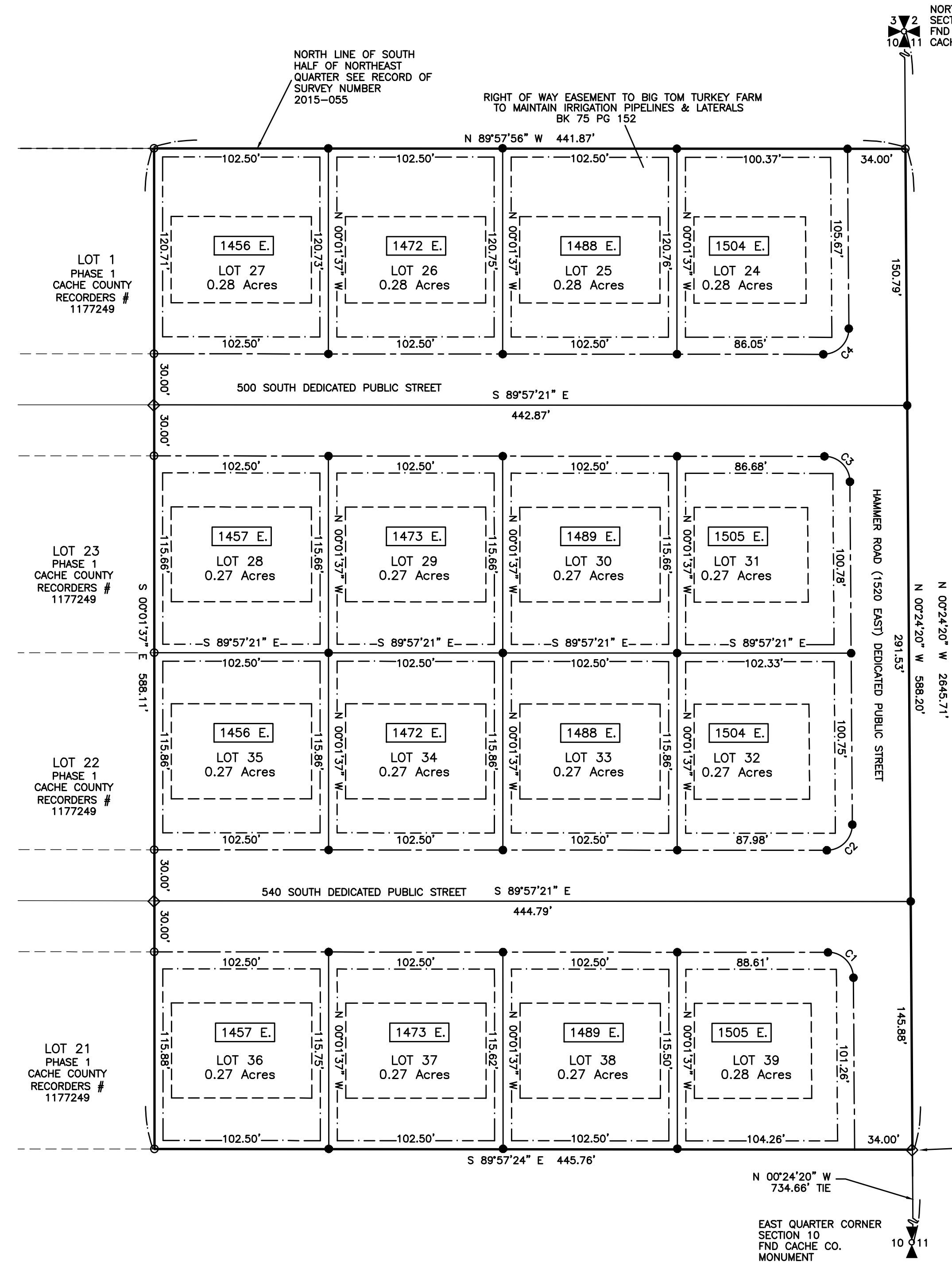
THE CURRENT DEED FOR THE PARCEL IS
RECORDED AS ENTRY # 1122728 AND
1122729 IN THE OFFICIAL RECORDS OF
CACHE COUNTY



SCALE: 1 INCH = 50 FEET
BASIS OF BEARINGS
FROM THE NORTHEAST CORNER
OF SECTION 10 TO THE EAST
QUARTER CORNER BEARING
S 00°24'20" E

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	23.44'	15.00'	89°33'01"	N 45°10'51" W	21.13'
C2	23.68'	15.00'	89°26'59"	N 44°49'09" E	21.30'
C3	23.44'	15.00'	89°33'01"	N 45°10'51" W	21.13'
C4	23.68'	15.00'	89°26'59"	S 44°49'09" E	21.30'

NARRATIVE:
THE PURPOSE OF THIS PLAT IS TO CREATE 16 LOTS. THIS SURVEY USED THE SURVEY RECORDED WITH THE CACHE COUNTY SURVEYOR AS SURVEY # 2015-055 AS A REFERENCE FOR THE BOUNDARY AND SECTION PLACEMENT. THIS SURVEY ALSO USED THE FINAL PLAT FOR MOUNTAIN VIEW ESTATES PHASE 1 RECORDED WITH THE CACHE COUNTY RECORDER AS NUMBER 1177249 AS A REFERENCE.



ENGINEER'S CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE AND THE CITY ORDINANCE.

DATE _____ CITY ENGINEER _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 2018

CITY ATTORNEY _____

UTILITY COMPANIES APPROVAL

THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED.

QUESTAR GAS _____
DATE _____

HYRUM CITY POWER _____
DATE _____

COMCAST CABLE _____
DATE _____

CENTURYLINK COMMUNICATIONS _____
DATE _____

HYRUM CITY CULINARY WATER APPROVAL
AND ACCEPTANCE

PRESENTED TO THE HYRUM CITY CULINARY WATER DEPARTMENT THIS _____ DAY OF _____ A.D. 2018, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

COUNTY RECORDER'S NO. _____

STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE
REQUEST _____
DATE _____ TIME _____ FEE _____
ABSTRACTED _____

INDEX _____
FILED IN: FILE OF PLATS _____ COUNTY RECORDER _____

COUNTY SURVEYOR'S CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE AND FURTHER CERTIFY THAT IT MEETS THE MINIMUM STANDARDS FOR PLATS REQUIRED BY COUNTY ORDINANCE AND STATE LAW.

DATE _____ COUNTY SURVEYOR _____

PLANNING COMMISSION CHAIRMAN APPROVAL
AND ACCEPTANCE

PRESENTED TO THE HYRUM CITY PLANNING COMMISSION CHAIRMAN OF _____ A.D. 2018, AS THIS WAS RECOMMENDED TO THE CITY COUNCIL FOR APPROVAL.

MAYOR'S APPROVAL AND ACCEPTANCE

PRESENTED TO THE HYRUM CITY COUNCIL THIS _____ DAY OF _____ A.D. 2018, AS THIS WAS APPROVED AND ACCEPTED.

MAYOR _____

HYRUM CITY SANITARY SEWER APPROVAL
AND ACCEPTANCE

PRESENTED TO THE HYRUM CITY SANITARY SEWER DEPARTMENT THIS _____ DAY OF _____ A.D. 2018, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

PROPERTY OWNER/SUBDIVIDER:
NEIGHBORHOOD NON-PROFIT HOUSING CORPORATION
195 WEST GOLF COURSE ROAD, SUITE 1
CACHET, UTAH 84321
435-750-8432

FINAL PLAT FOR
MOUNTAIN VIEW ESTATES, PHASE 2
SECTION 10, T. 10 N. R. 1 E. S. 1 BASE & MERIDIAN
HYRUM CITY, CACHE COUNTY, UTAH

REVISIONS	SUBMITTED BY:	TC
1	MAX 2018	OFFICE WORK BY: TC, DB
2	1 MAR 2018	FIELD BOOK NO.
PROJECT NO. 15124		
COMPLETE DATE: MARCH 2018		

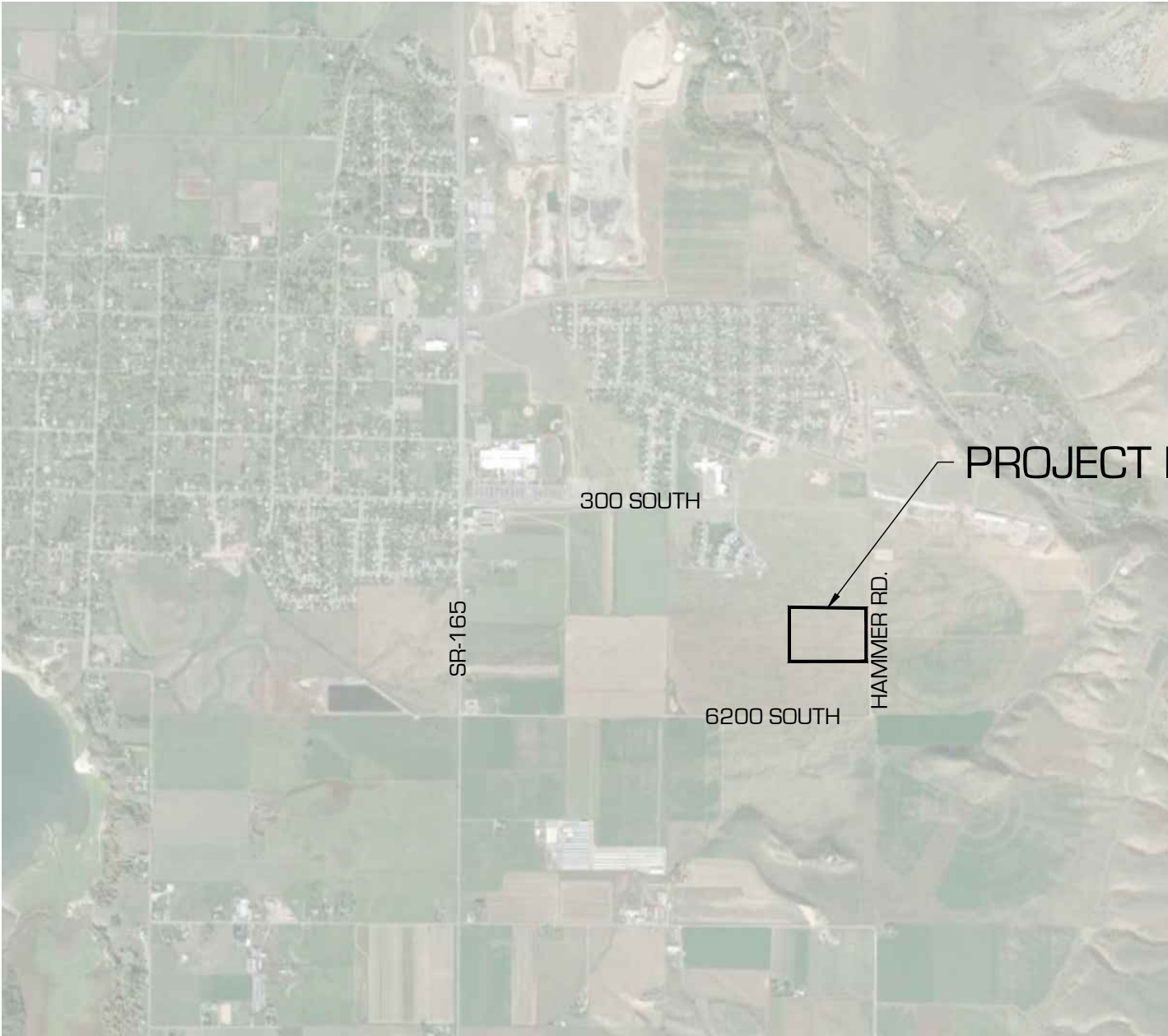
LAND SURVEYORS
A.A. HUDSON
AND
ASSOCIATES
132 SOUTH STATE
PRESTON, IDAHO 83283
(208)622-1155



MOUNTAIN VIEW ESTATES PHASE 2 CONSTRUCTION DOCUMENTS

March 29, 2018

VICINITY MAP:



Sheet List Table	
SHEET DESCRIPTION	SHEET NUMBER
INDEX	C-001
LEGEND	C-002
REFERENCE SHEET	C-003
STORMDRAIN & EROSION CONTROL	C-201
SITE/UTILITY PLAN & PROFILE	C-301
SITE/UTILITY PLAN & PROFILE	C-302
SITE/UTILITY PLAN & PROFILE	C-303
STANDARD DETAILS	C-501
STANDARD DETAILS	C-502

GENERAL NOTES:

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY HYRUM CITY DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND /OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A SURVEY CREW MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND HYRUM CITY.
5. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE:" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
6. ALL EXISTING AND/ OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH HYRUM CITY STANDARDS AND SPECIFICATIONS.
7. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF HYRUM.
8. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
9. DEVELOPER SHALL SATISFY THE SECURITY OF PERFORMANCE REQUIREMENTS PER HYRUM CITY CODE SECTION 16.20.030.
10. THIS DESIGN CONFORMS TO R309-550, TRANSMISSION AND DISTRIBUTION PIPELINES, UTAH DIVISION OF ADMINISTRATIVE RULES.
11. ALL MATERIALS WHICH MAY CONTACT DRINKING WATER, INCLUDING PIPES, GASKETS, LUBRICANTS AND O-RINGS, SHALL BE ANSICERTIFIED AS MEETING THE REQUIREMENTS OF NSF STANDARD 61. DRINKING WATER SYSTEM COMPONENTS - HEALTH EFFECTS. TO PERMIT FIELD VERIFICATION OF THIS CERTIFICATION, ALL SUCH COMPONENTS SHALL BE APPROPRIATELY STAMPED WITH THE NSF LOGO.

STANDARD SPECIFICATIONS:

1. HYRUM CITY SPECIFICATIONS.
2. STORM WATER SPECIFICATIONS ARE PER THE EPA NATIONAL MENU OF STORMWATER BEST MANAGEMENT PRACTICES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE UTAH DEPARTMENT OF WATER QUALITY STORMWATER MANAGMENT PROGRAM.
3. THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.
4. DESIGN OF THE CULINARY WATER SYSTEM IMPROVEMENTS MEETS ALL APPLICABLE RULES, STANDARDS & REGULATIONS PER UAC R309-500.

STANDARD DRAWINGS:

1. HYRUM CITY STANDARD DRAWINGS.

SUBMITTALS:

ORIGINAL SUBMITTAL	MARCH 19, 2018
RE-SUBMITTAL	MARCH 29, 2018

GENERAL NOTES:

- CURRENT ZONE: R-2, RESIDENTIAL MULTI FAMILY
- SETBACKS: PER CITY CODE
- ALL EXPENSES INVOLVING THE NECESSARY IMPROVEMENTS OR EXTENSIONS FOR A CULINARY WATER SYSTEM, SANITARY SEWER SYSTEM, GAS SERVICE, ELECTRICAL SERVICE, TELEPHONE SERVICE, CABLE TELEVISION SERVICE, GRADING AND LANDSCAPING, STORM DRAINAGE SIGNAGE, STREET LIGHTING AND OTHER IMPROVEMENTS SHALL BE PAID FOR BY THE DEVELOPER.

PROJECT CONTACTS:

- PROPERTY OWNER & DEVELOPER:
NEIGHBORHOOD HOUSING SOLUTIONS
KIM DATWYLER, PROJECT MANAGER
195 GOLF COURSE ROAD
LOGAN, UT 84321
E: KIM@NNHC.NET
- CIVIL ENGINEER:
CIVIL SOLUTIONS GROUP
MICHAEL E. TAYLOR
540 WEST GOLF COURSE ROAD SUITE B1
PROVIDENCE, UT 84332
P: 435.213.3762
E: MTAYLOR@CSG.WORK
- LAND SURVEYOR
AA HUDSON AND ASSOCIATES
TIM CHRISTENSEN
132 S STATE STREET
PRESTON, ID 83263
P: 208.221.4144
E:TIM@AAHUDSON.COM
- LANDSCAPE ARCHITECT
CIVIL SOLUTIONS GROUP
KENI ALTHOUSE
540 WEST GOLF COURSE ROAD SUITE B1
PROVIDENCE, UT 84332
E: KALTHOUSE@CSG.WORK
- HYRUM CITY MANAGER
RON SALVESON
60 WEST MAIN
HYRUM CITY, UT 84319
- HYRUM CITY MANAGER
AQUA ENGINEERING
533 WEST 2600 SOUTH
BOUNTIFUL, UT
- ROCKY MOUNTAIN POWER
JAMES KNIGHT
435.563.2921
- UTAH STORMWATER PERMIT
UTAH DEPARTMENT OF WATER QUALITY
P.O. BOX 144870
SALT LAKE CITY, UTAH 84114-4870
P: 801.538.6146
<http://www.waterquality.utah.gov/UPDES/stormwater.htm>
- QUESTAR GAS:
KRISTI FEDEL
895 WEST 800 NORTH
LOGAN, UTAH 84321
P: 435.752.7751



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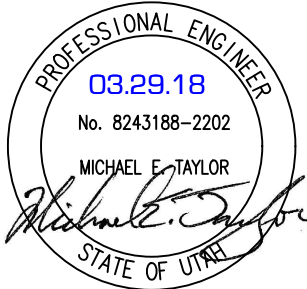


PROVIDENCE | P: 435.213.3762
SALT LAKE CITY | P: 801.216.3192
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

MOUNTAIN VIEW ESTATES
PHASE 2
CONSTRUCTION DOCUMENTS
6200 SOUTH 800 EAST
HYRUM, UT 84319

MARK	DATE	DESCRIPTION: CHANGES PER CITY COMMENT
(1)	03/29/18	

PROJECT #: 18-102
DRAWN BY: C. BOWN
PROJECT MANAGER: M. TAYLOR
DESIGNED BY: M. TALYOR
ISSUED: 03.29.18



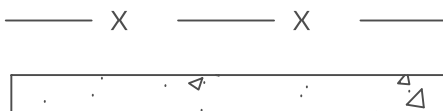
INDEX

C-001

MOUNTAIN VIEW ESTATES PHASE 2 CONSTRUCTION DOCUMENTS

March 29, 2018

LEGEND EXISTING

			PROPERTY BOUNDARY
— 12SD —	12SD —	EXISTING STORM DRAIN LINE (SIZE SHOWN)	
— W —	W —	EXISTING WATER LINE (SIZE SHOWN)	
— IRR —	IRR —	EXISTING IRRIGATION LINE	
— GAS —	GAS —	EXISTING GAS LINE (SIZE SHOWN)	
— 8SS —	8SS —	EXISTING SEWER LINE (SIZE SHOWN)	
— PWR —	PWR —	EXISTING BURIED POWER LINE	
— ELEC —	ELEC —	EXISTING AERIAL POWER LINE	
— COM —	COM —	EXISTING COMMUNICATION LINE	
— 5440 —	—	EXISTING CONTOUR	
		EXISTING ASPHALT	
		EXISTING CURB AND GUTTER	
— X —	X —	EXISTING FENCE	
		EXISTING CONCRETE	
		EXISTING TO BE REMOVED	

LEGEND PROPOSED

LEGEND EXISTING

	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING STORM DRAIN BOX
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING WATER METER

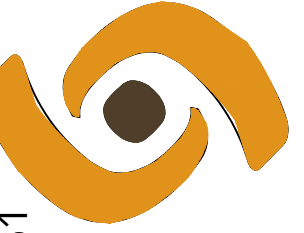
LEGEND PROPOSED

	PROPOSED WATER VALVE
	PROPOSED IRRIGATION VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED 4' SEWER MANHOLE
	PROPOSED WATER METER



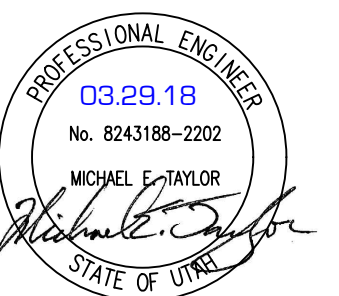
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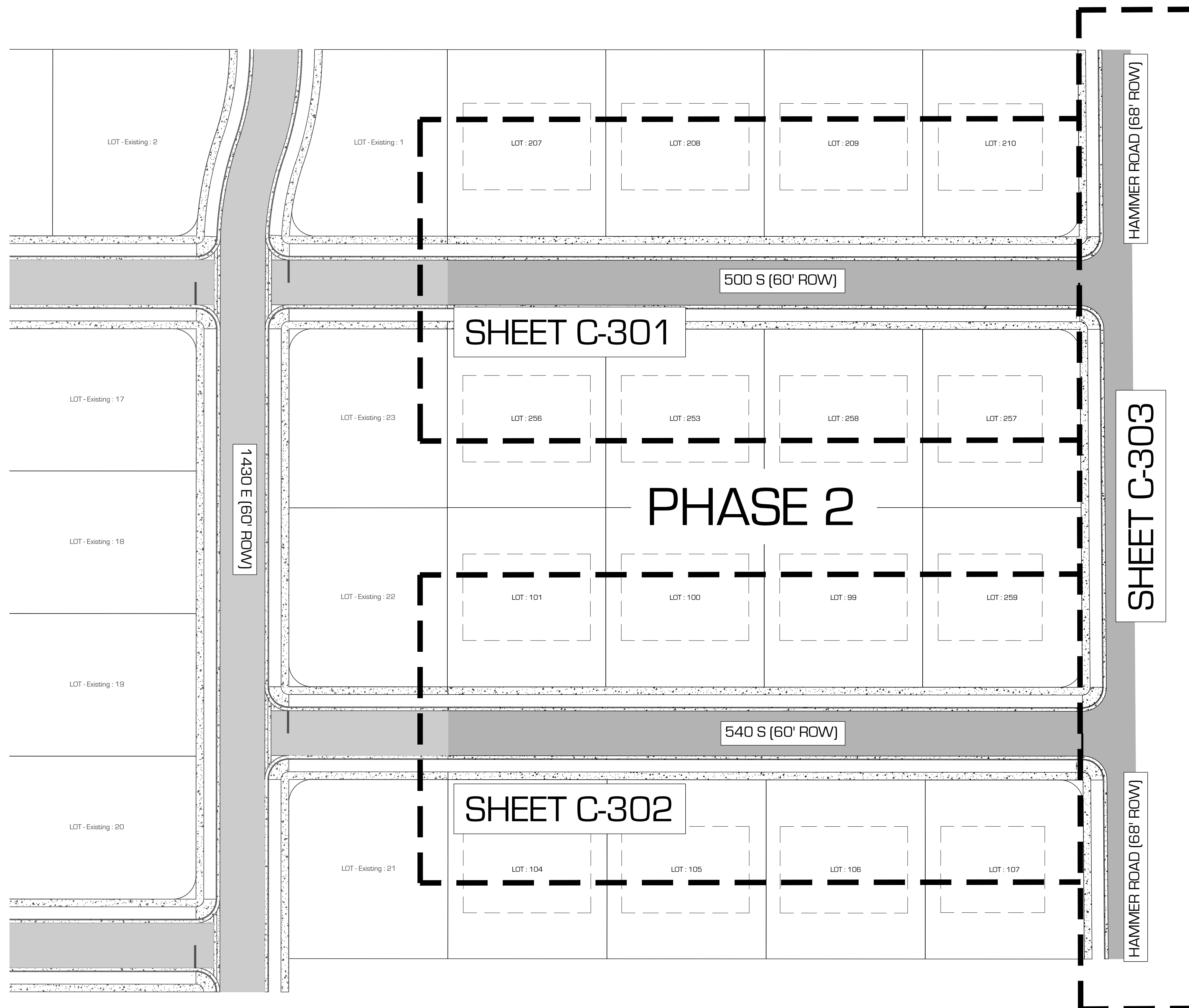
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www.civilsolutionsgroup.net

MOUNTAIN VIEW ESTATES
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CONSTRUCTION DOCUMENTS
6200 SOUTH 800 EAST
HYRUM, UT 84319

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LEGEND

C-002

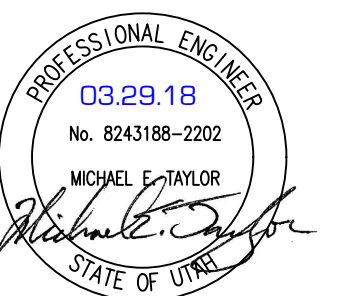


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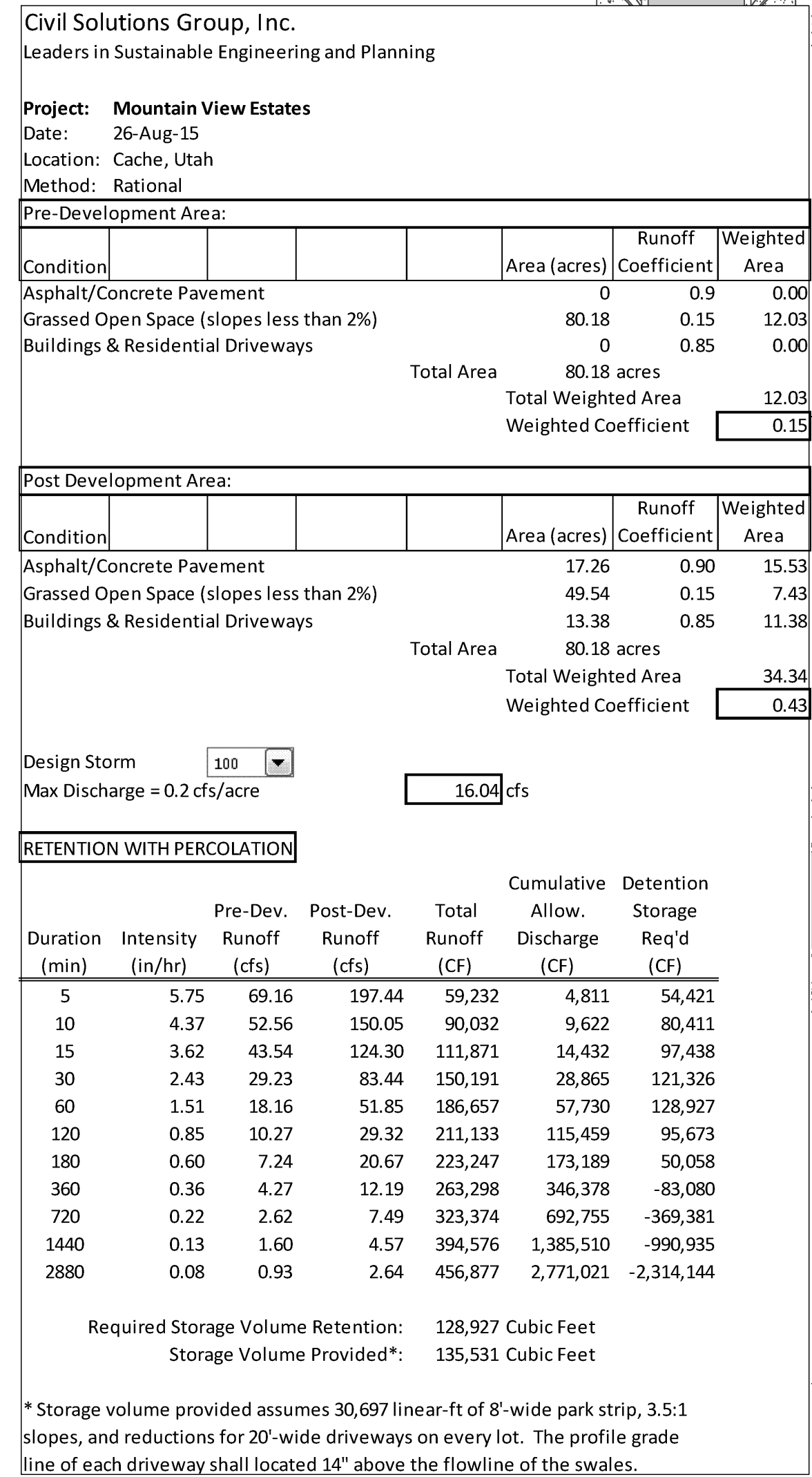
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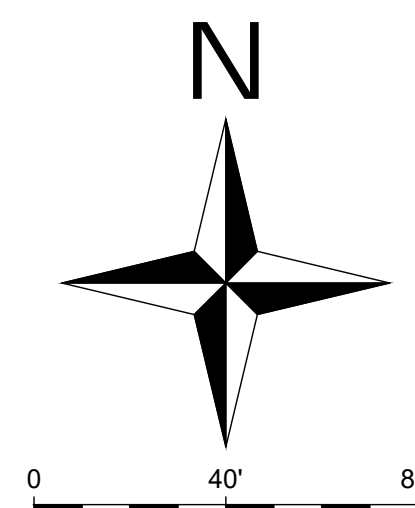
REFERENCE SHEET

C-003

SCALE: 1"=40'



1. KEY NOTES:
1. INSTALL VEHICLE TRACK PAD PER STANDARD DETAIL IN SWPPP.
 2. INSTALL MATERIAL STAGING AND WASHOUT AREA PER STANDARD DETAIL IN SWPPP.
 3. INSTALL STORM DRAIN CURB SCUPPER PER STANDARD DETAIL 07 ON SHEET C-502 TOGETHER WITH GRAVEL SOCK PER SWPPP.
 4. CONSTRUCTION LIMIT LINE.
 5. INSTALL PORTABLE RESTROOMS PER DETAIL IN SWPPP.
 6. INSTALL SILT FENCE PER DETAIL IN SWPPP.



Know what's below.

Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
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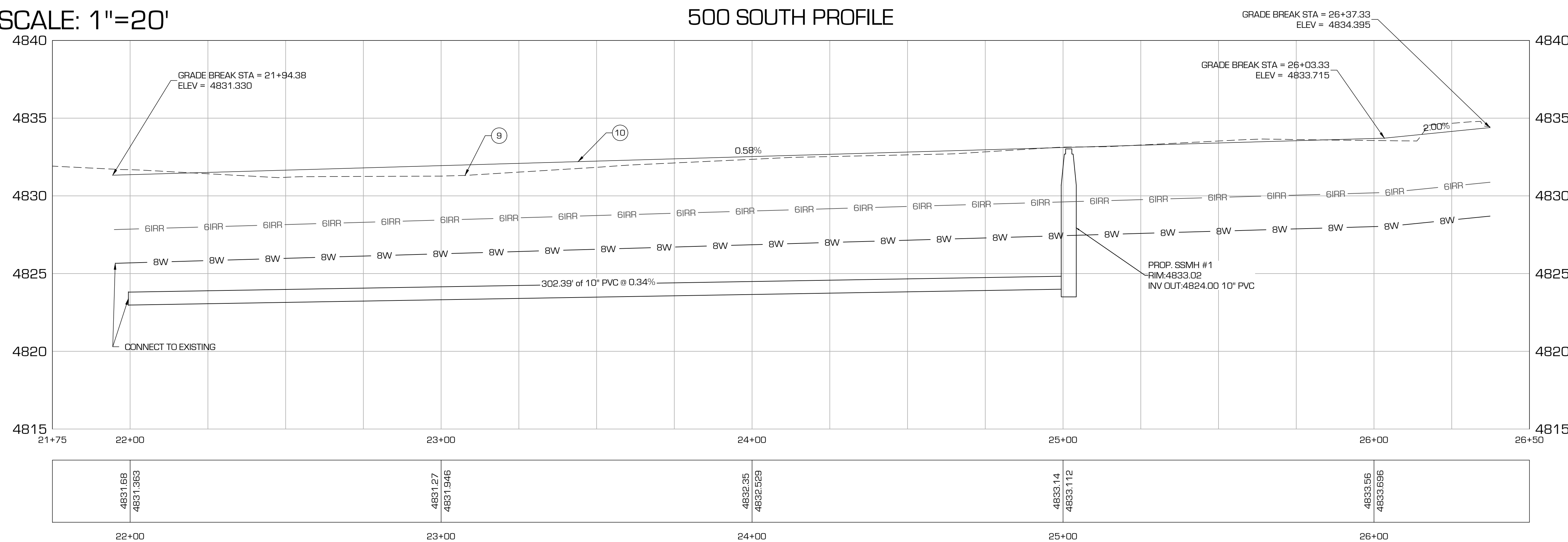
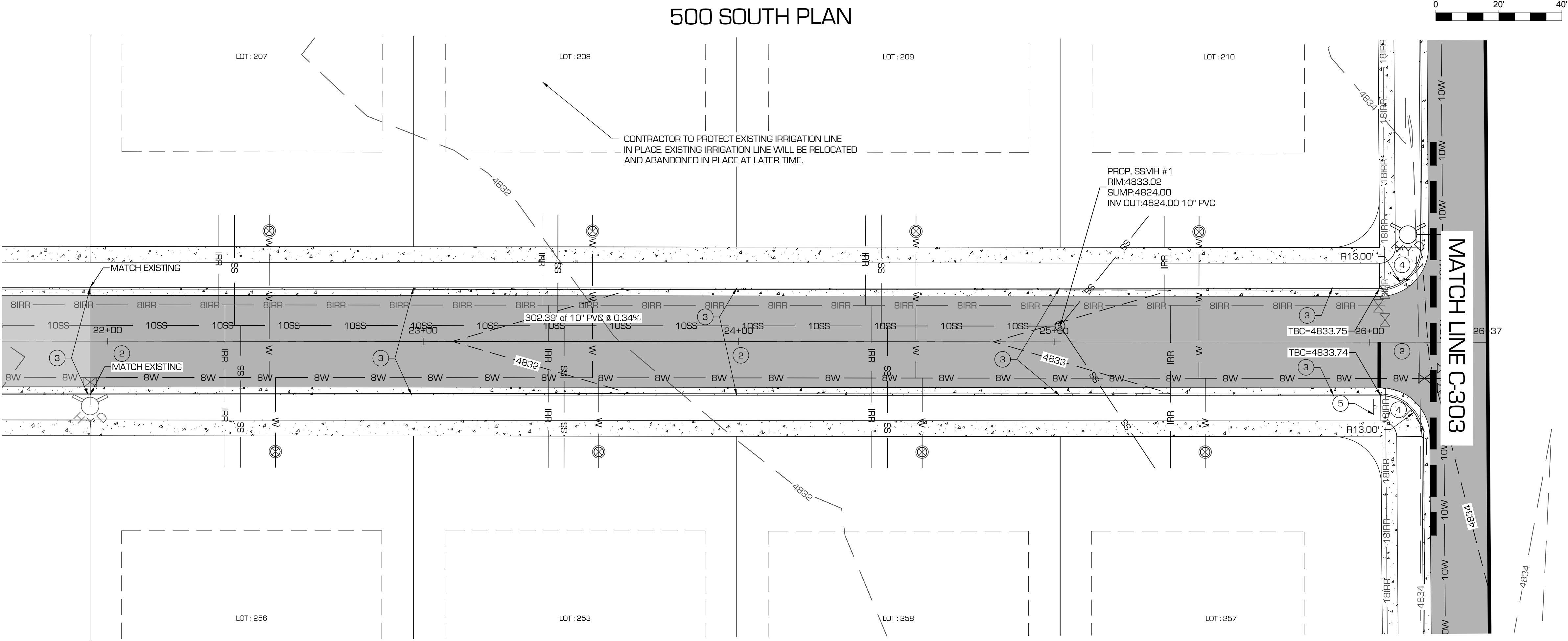
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MOUNTAIN VIEW ESTATES
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HYRUM, UT 84319

[illegible]

STORMDRAIN & EROSION CONTROL

MOUNTAIN VIEW ESTATES PHASE 2
SITE/UTILITY PLAN & PROFILE
SCALE: 1"=20'



SHEET KEY NOTES:

1. INSTALL HYRUM CITY 68" ROADWAY CROSS-SECTION HALF-WIDTH PER STANDARD DETAIL 05 ON SHEET C-502.
2. INSTALL HYRUM CITY 60" ROADWAY CROSS-SECTION PER STANDARD DETAIL 01 ON SHEET C-502.
3. INSTALL STORM DRAIN CURB SCUPPER PER STANDARD DETAIL 07 ON SHEET C-502.
4. INSTALL TYPE 2 ADA RAMP PER STANDARD DETAIL 02 ON SHEET C-502 UNLESS OTHERWISE STATED IN PLANS.
5. INSTALL STOP SIGN AND STOP BAR PAVEMENT MARKING.
6. CAP, BLOCK, AND MARK END OF LINE PER STANDARD DETAIL 07 ON SHEET C-501.
7. INSTALL FIRE HYDRANT ASSEMBLY PER STANDARD DETAIL 02 ON SHEET C-501. CONTRACTOR SHALL BRING SOIL TO GRADE WHEN HYDRANTS LOCATED IN PARK STRIP SWALES.
8. INSTALL VALVE ON EACH CONNECTING/IRRIGATION LEG PER STANDARD DETAIL 05 ON SHEET C-501.
9. EXISTING GROUND
10. PROPOSED GRADE OF ROADWAY CENTERLINE.

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DRAWING 04 ON SHEET C-501.
5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5' OF COVER, AND IRRIGATION LINES WITH A MINIMUM OF 3' OF COVER.
6. ALL SEWER AND WATER SERVICES SHALL BE INSTALLED IN FRONT CENTER OF LOT UNLESS OTHERWISE NOTED. PROVIDE 11-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER, 6-FT HORIZONTAL SEPARATION BETWEEN SECONDARY IRRIGATION AND SEWER.
7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C-502. 1" WATER SERVICES SHALL BE TYPE K COPPER WITH 24" "WHITE" BARRELS. THE CITY WILL PROVIDE AND SET THE METERS. ALL OTHER PARTS (SERVICE LATERAL PIPING, SETTERS, BARRELS, ETC.) SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR PRIOR TO INSTALLATION OF BARRELS. LOCATIONS SHALL BE DETERMINED USING CONSTRUCTION STAKING METHODS.
8. ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 1 ON SHEET C-501.
9. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
10. ALL SEWER MANHOLES SHALL BE INSTALLED PER STANDARD DETAIL 6 ON SHEET C-501.
11. ALL SECONDARY IRRIGATION SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C-501.
12. ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
13. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUTED USING NON-SHRINK GROUT.
14. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 07 ON SHEET C-501.
15. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
16. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
17. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.
18. CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY ROCKY MOUNTAIN POWER AND HYRUM CITY.
19. CONTRACTOR SHALL NOT EXCAVATE ROAD SIDE SWALES UNTIL ALL UTILITIES HAVE BEEN INSTALLED.

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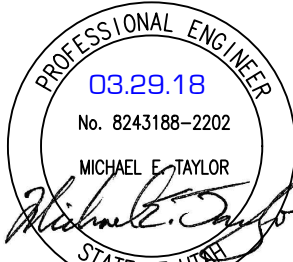
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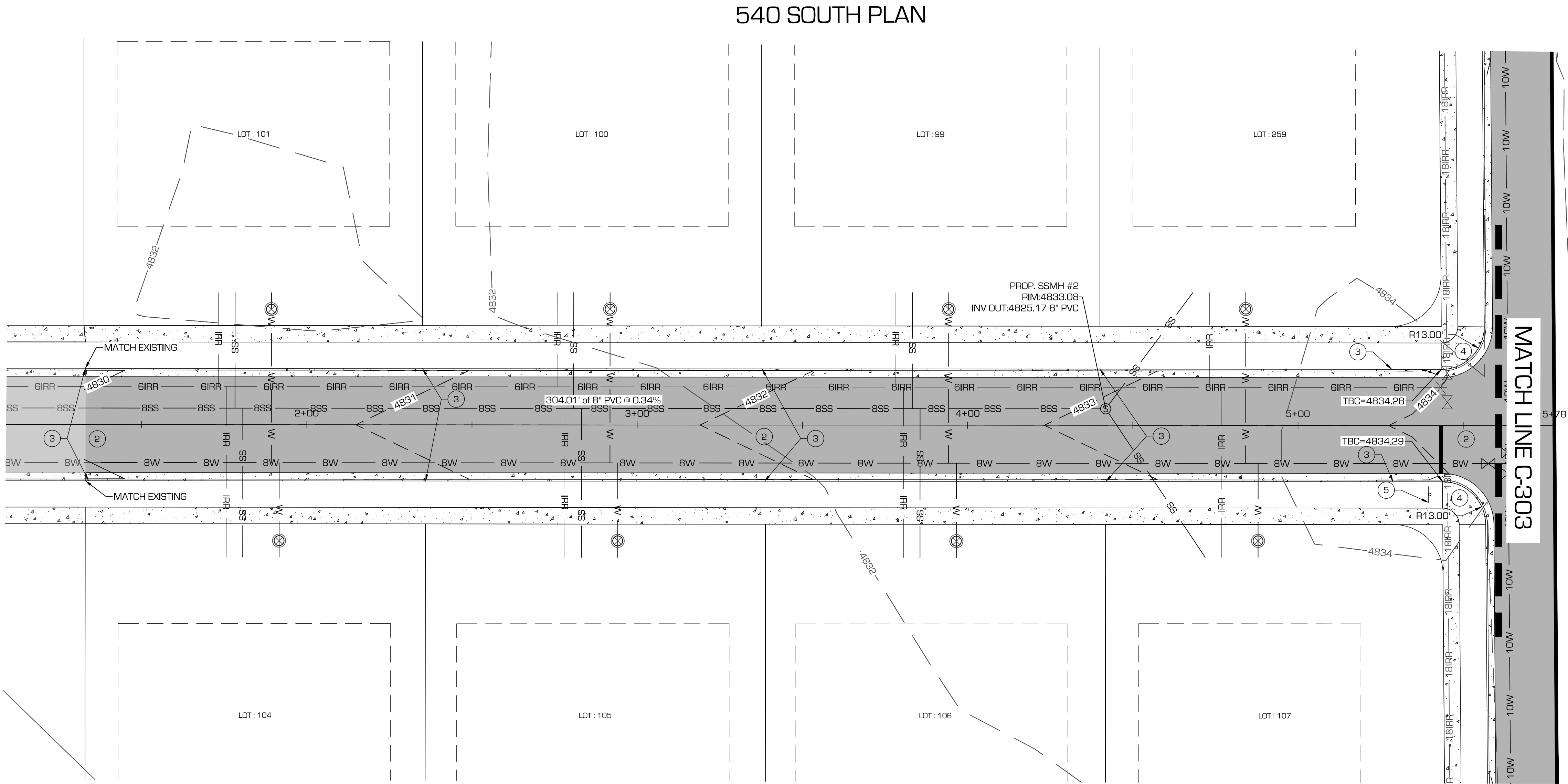
MOUNTAIN VIEW ESTATES
PHASE 2
CONSTRUCTION DOCUMENTS
6200 SOUTH 800 EAST
HYRUM, UT 84319

MARK	DATE	DESCRIPTION
(1)	03/29/18	CHANGES PER CITY COMMENT
PROJECT #:	18-102	
DRAWN BY:	C. BOWN	
PROJECT MANAGER:	M. TAYLOR	
DESIGNED BY:	M. TAYLOR	
ISSUED:	03.29.18	



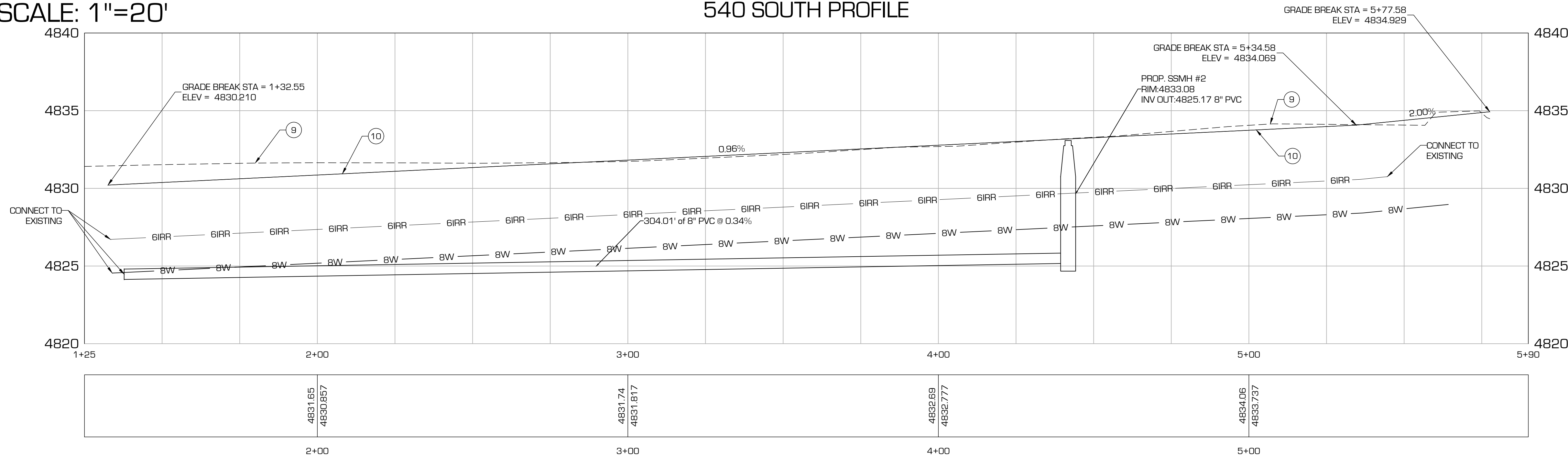
SITE/UTILITY
PLAN &
PROFILE
C-301

MOUNTAIN VIEW ESTATES PHASE 2
SITE/UTILITY PLAN & PROFILE
SCALE: 1"=20'



SCALE: 1"=20'

540 SOUTH PROFILE



① SHEET KEY NOTES:

1. INSTALL HYRUM CITY 68" ROADWAY CROSS-SECTION HALF-WIDTH PER STANDARD DETAIL 05 ON SHEET C-502.
2. INSTALL HYRUM CITY 60" ROADWAY CROSS-SECTION PER STANDARD DETAIL 01 ON SHEET C-502.
3. INSTALL STORM DRAIN CURB SCUPPER PER STANDARD DETAIL 07 ON SHEET C-502.
4. INSTALL TYPE 2 ADA RAMP PER STANDARD DETAIL 02 ON SHEET C-502 UNLESS OTHERWISE STATED IN PLANS.
5. INSTALL STOP SIGN AND STOP BAR PAVEMENT MARKING. CAP, BLOCK, AND MARK END OF LINE PER STANDARD DETAIL 07 ON SHEET C-501.
7. INSTALL FIRE HYDRANT ASSEMBLY PER STANDARD DETAIL 02 ON SHEET C-501. CONTRACTOR SHALL BRING SOIL TO GRADE WHEN HYDRANTS LOCATED IN PARK STRIP SWALES.
8. INSTALL VALVE ON EACH CONNECTING/IRRIGATION LEG PER STANDARD DETAIL 05 ON SHEET C-501.
9. EXISTING GROUND
10. PROPOSED GRADE OF ROADWAY CENTERLINE

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WERE LINES INTERSECT.
3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DRAWING D4 ON SHEET C-501.
5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWWA C900 D18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5' OF COVER, AND IRRIGATION LINES WITH A MINIMUM OF 3' OF COVER.
6. ALL SEWER AND WATER SERVICES SHALL BE INSTALLED IN FRONT CENTER OF LOT UNLESS OTHERWISE NOTED. PROVIDE 11-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER, 6-FT HORIZONTAL SEPARATION BETWEEN SECONDARY IRRIGATION AND SEWER.
7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C-502. 1" WATER SERVICES SHALL BE TYPE K COPPER WITH 24" WHITE BARRELS. THE CITY WILL PROVIDE AND SET THE METERS. ALL OTHER PARTS (SERVICE LATERAL, PIPING, SETTERS, BARRELS, ETC.) SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. PRIOR TO INSTALLATION OF BARRELS, LOCATIONS SHALL BE DETERMINED USING CONSTRUCTION STAKING METHODS.
8. ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 1 ON SHEET C-501.
9. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
10. ALL SEWER MANHOLES SHALL BE INSTALLED PER STANDARD DETAIL 6 ON SHEET C-501.
11. ALL SECONDARY IRRIGATION SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C-501.
12. ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
13. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUDED USING NON-SHRINK GROUT.
14. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 07 ON SHEET C-501.
15. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
16. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
17. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.
18. CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY ROCKY MOUNTAIN POWER AND HYRUM CITY.
19. CONTRACTOR SHALL NOT EXCAVATE ROAD SIDE SWALES UNTIL ALL UTILITIES HAVE BEEN INSTALLED.

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CONSTRUCTION DOCUMENTS
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HYRUM, UT 84319

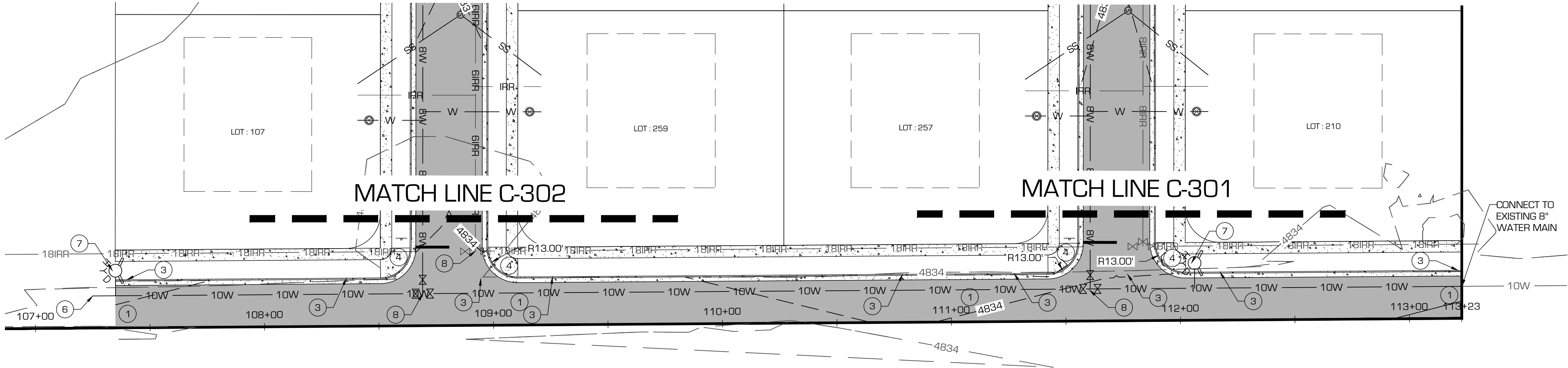
MARK	DATE	DESCRIPTION
①	03/29/18	CHANGES PER CITY COMMENT
PROJECT #:	18-102	
DRAWN BY:	C. BOWN	
PROJECT MANAGER:	M. TAYLOR	
DESIGNED BY:	M. TAYLOR	
ISSUED:	03.29.18	

PROFESSIONAL ENGINEER
03.29.18
No. 8243188-2202
MICHAEL E. TAYLOR
STATE OF UTAH

SITE/UTILITY
PLAN &
PROFILE
C-302

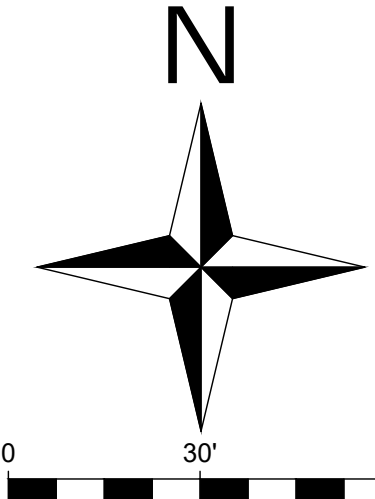
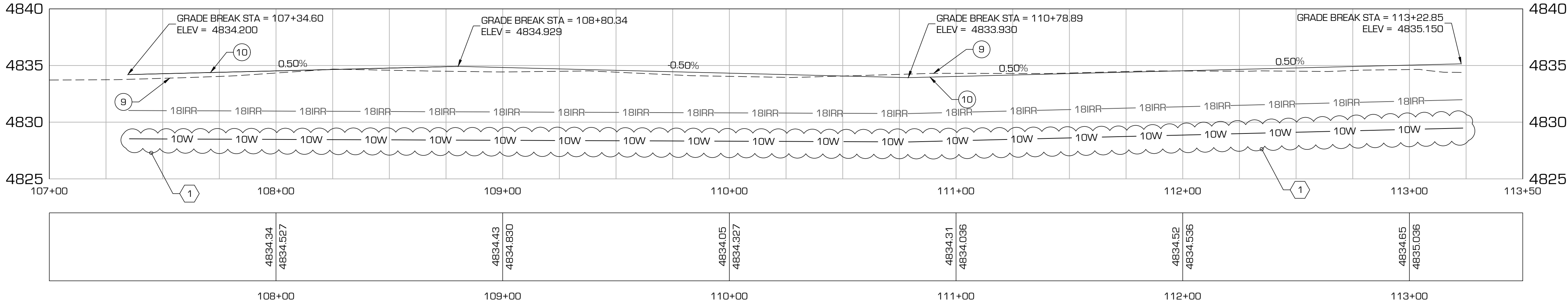
SCALE: 1"=30'

HAMMER ROAD PLAN



SCALE: 1"=30'

HAMMER ROAD PROFILE



① SHEET KEY NOTES:

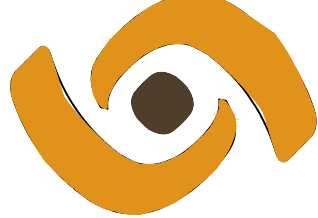
1. INSTALL HYRUM CITY 68" ROADWAY CROSS-SECTION HALF-WIDTH PER STANDARD DETAIL. 05 ON SHEET C-502.
2. INSTALL HYRUM CITY 60" ROADWAY CROSS-SECTION PER STANDARD DETAIL. 01 ON SHEET C-502.
3. INSTALL STORM DRAIN CURB SCUPPER PER STANDARD DETAIL 07 ON SHEET C-502.
4. INSTALL TYPE 2 AAD RAMP PER STANDARD DETAIL. 02 ON SHEET C-502 UNLESS OTHERWISE STATED IN PLANS.
5. INSTALL STOP SIGN AND STOP BAR PAVEMENT MARKING.
6. CAP, BLOCK, AND MARK END OF LINE PER STANDARD DETAIL 07 ON SHEET C-501.
7. INSTALL FIRE HYDRANT ASSEMBLY PER STANDARD DETAIL 02 ON SHEET C-501. CONTRACTOR SHALL BRING SOIL TO GRADE WHEN HYDRANTS LOCATED IN PARK STRIP SWALES.
8. INSTALL VALVE ON EACH CONNECTING/IRRIGATION LEG PER STANDARD DETAIL. 05 ON SHEET C-501.
9. EXISTING GROUND
10. PROPOSED GRADE OF ROADWAY CENTERLINE.

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTRACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
3. MINIMUM 10' OF HORIZONTAL SEPARATION BETWEEN END-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DRAWING 04 ON SHEET C501.
5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5' OF COVER, AND IRRIGATION LINES WITH A MINIMUM OF 3' OF COVER.
6. ALL SEWER AND WATER SERVICES SHALL BE INSTALLED IN FRONT CENTER OF LOT UNLESS OTHERWISE NOTED. PROVIDE 11'-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER. 6'-FT HORIZONTAL SEPARATION BETWEEN SECONDARY IRRIGATION AND SEWER.
7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C501. * WATER SERVICES SHALL BE TYPE K C900 WITH 24" W/ 2" W/ 2" BARRELS. CITY WILL PROVIDE AND SET THE METER. ALL OTHER PARTS (SERVICE LATERAL PIPING, SETTERS, BARRELS, ETC) SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. PRIOR TO INSTALLATION OF BARRELS, LOCATIONS SHALL BE DETERMINED USING CONSTRUCTION STAKING METHODS.
8. ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 1. ON SHEET C501.
9. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
10. ALL SEWER MAN-HOLES SHALL BE INSTALLED PER STANDARD DETAIL 6 ON SHEET C501.
11. ALL SECONDARY IRRIGATION SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C501.
12. ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
13. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUTED USING NON-SHRINK GROUT.
14. CONTRACTOR SHALL PLACE CONCRETE THIRST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 07 ON SHEET C501.
15. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND GROUND THE POWER LINES AND PROVIDE THE REQUIRED P.V. SCHEDULE 40 CONDUIT.
16. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
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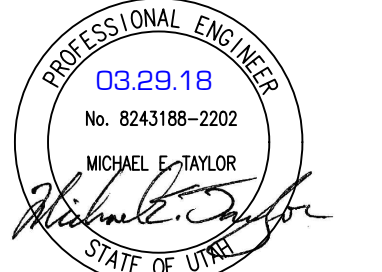


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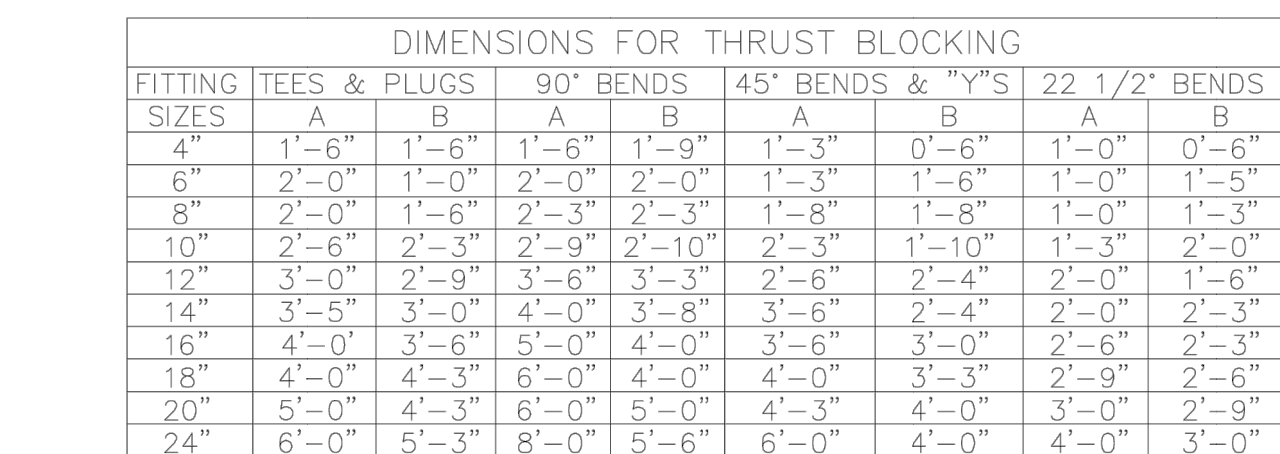
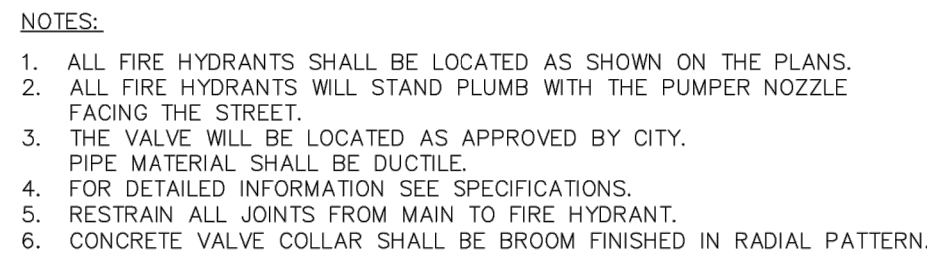
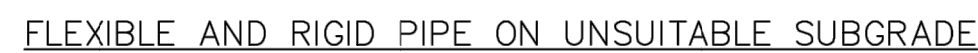
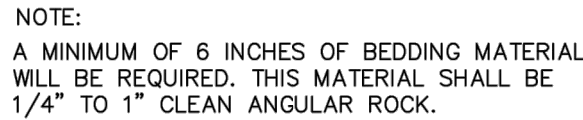
MOUNTAIN VIEW ESTATES
PHASE 2
CONSTRUCTION DOCUMENT
6200 SOUTH 800 EAST
HURUM; UT 84319

[illegible]

SITE/UTILITY PLAN & PROFILE

C-303

SCALE: NTS



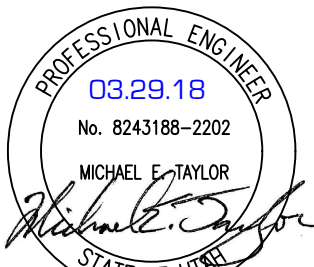
NOTES:

1. THIS TABLE IS BASED ON 200 P.S.I. MAIN PRESSURE AND 2000 P.S.F. SOIL BEARING PRESSURE. ADJUST BEARING AREAS IN ACCORDANCE WITH SOIL CONDITIONS AND PRESSURES ENCOUNTERED.
2. FOR ASBESTOS CEMENT PIPE GREATER THAN 6 INCHES IN DIAMETER DOUBLE THE AREA REQUIRED IN THE TABLE ABOVE.
3. USE JOUSQUEEN BETWEEN CONCRETE AND PIPE.
4. REFER TO CONCRETE STANDARDS SPECIFICATIONS.
5. THE "THRUST BLOCKING DETAILS" IN NO WAY LIMITS THE LOCATION OR SIZE OF ADDITIONAL BLOCKING WHEN SO WARRANTED OR REQUIRED BY THE ENGINEER.



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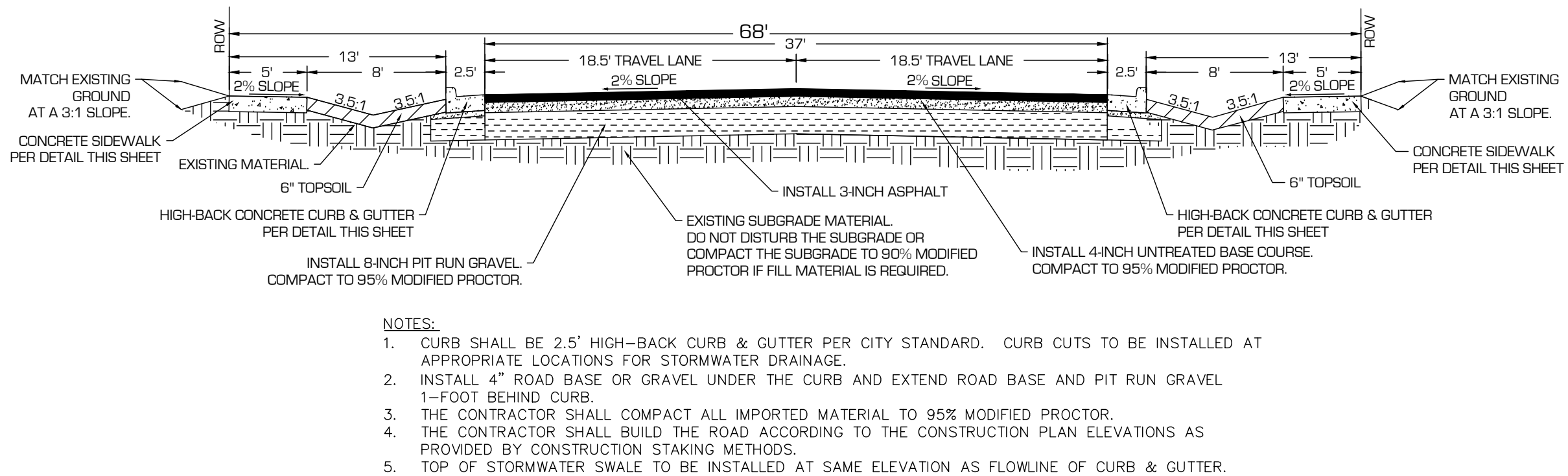
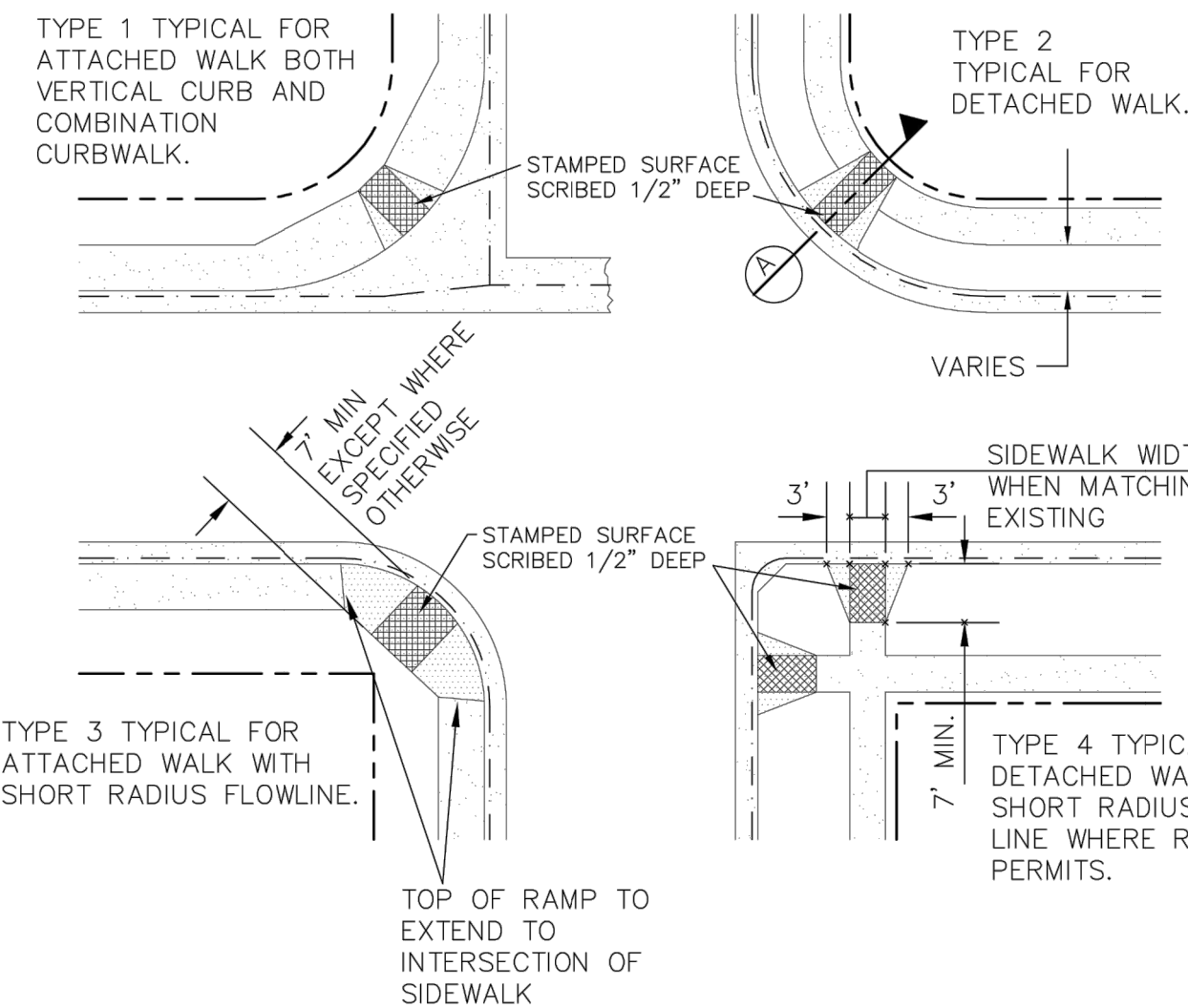
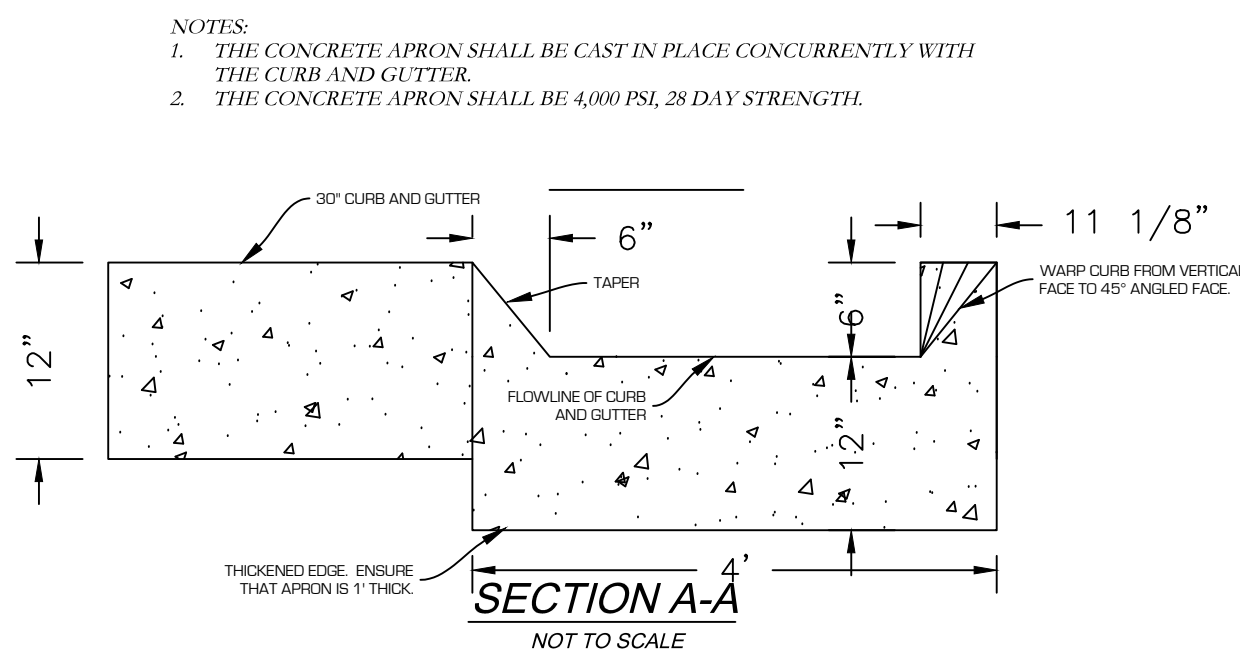
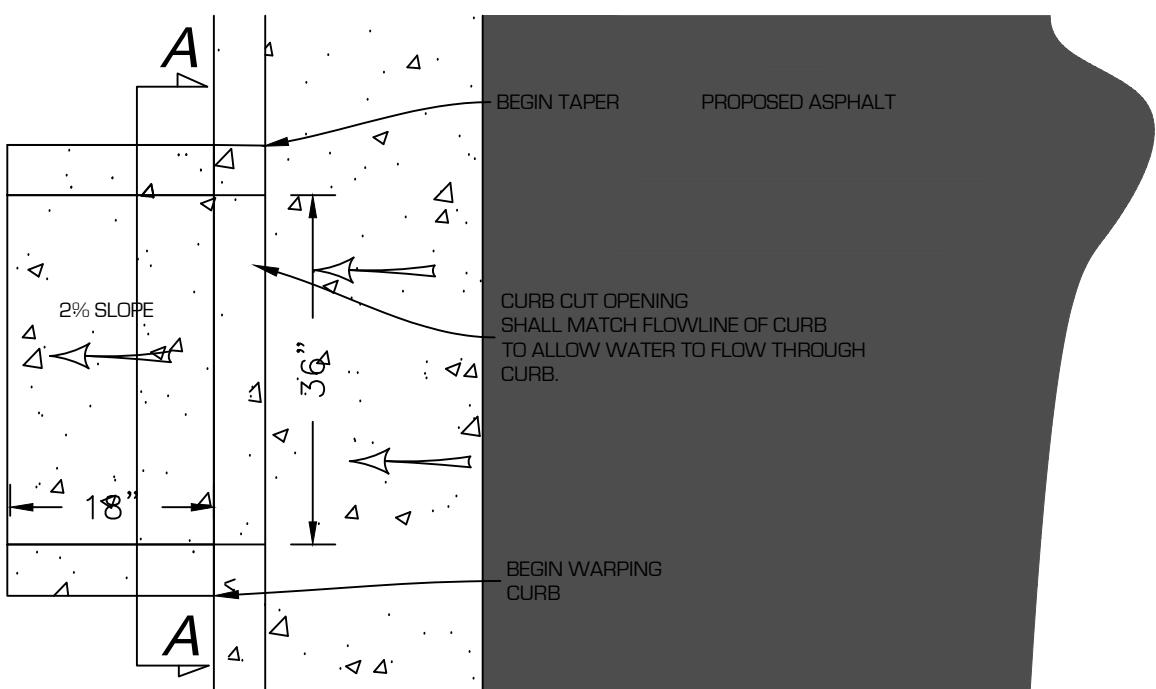
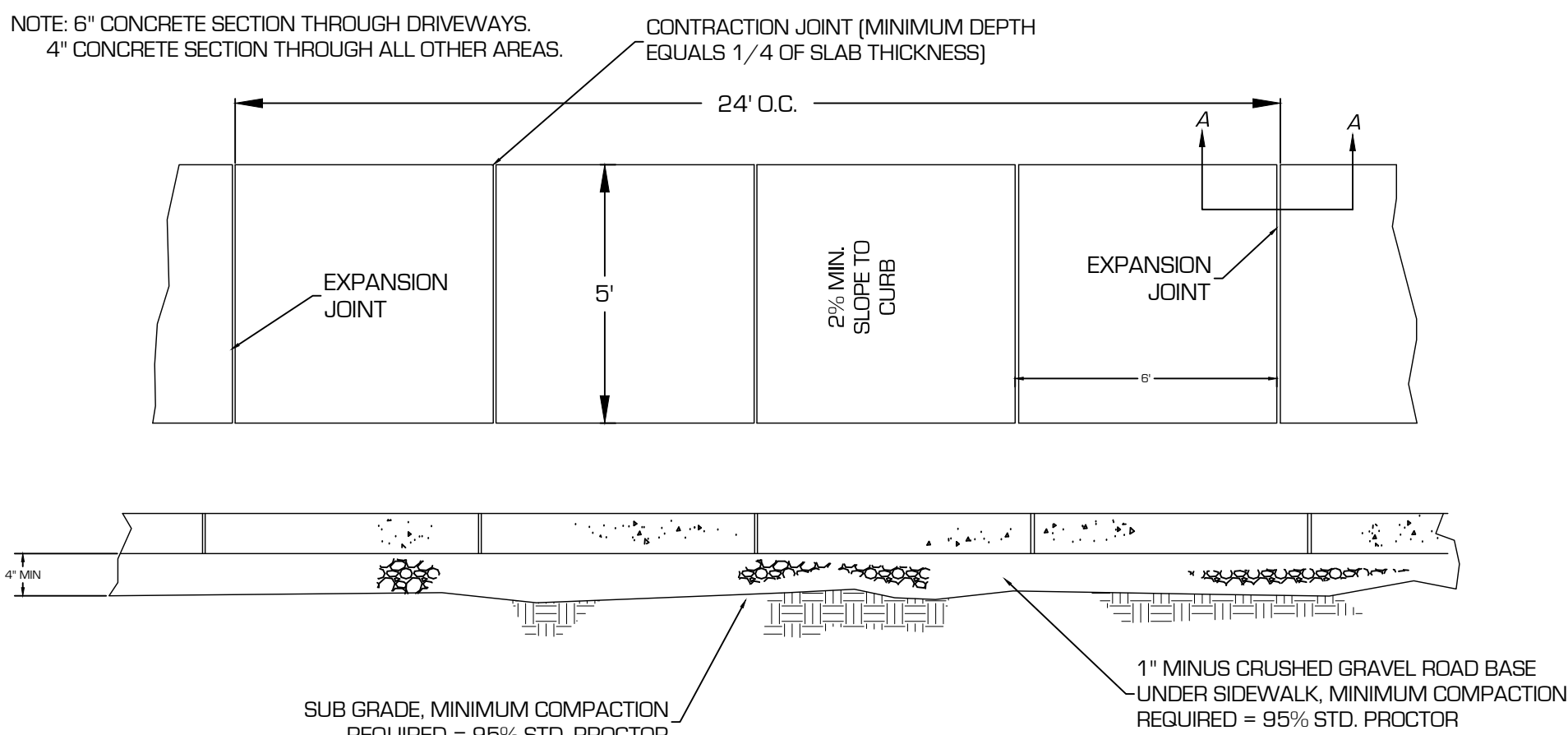
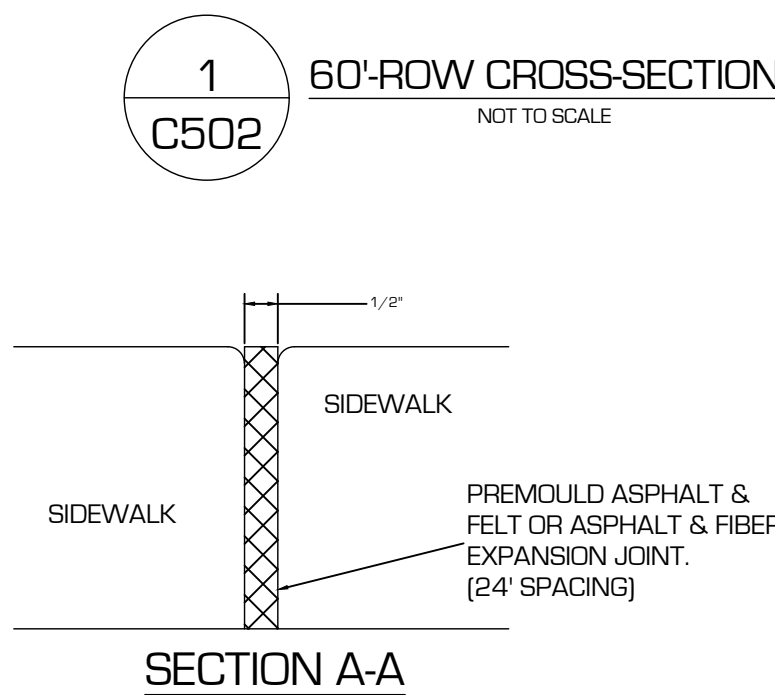
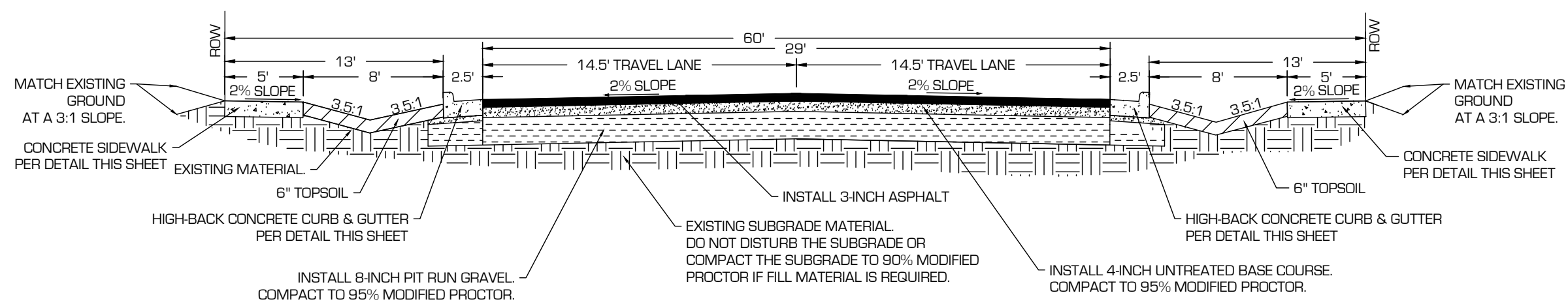
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STANDARD DETAILS

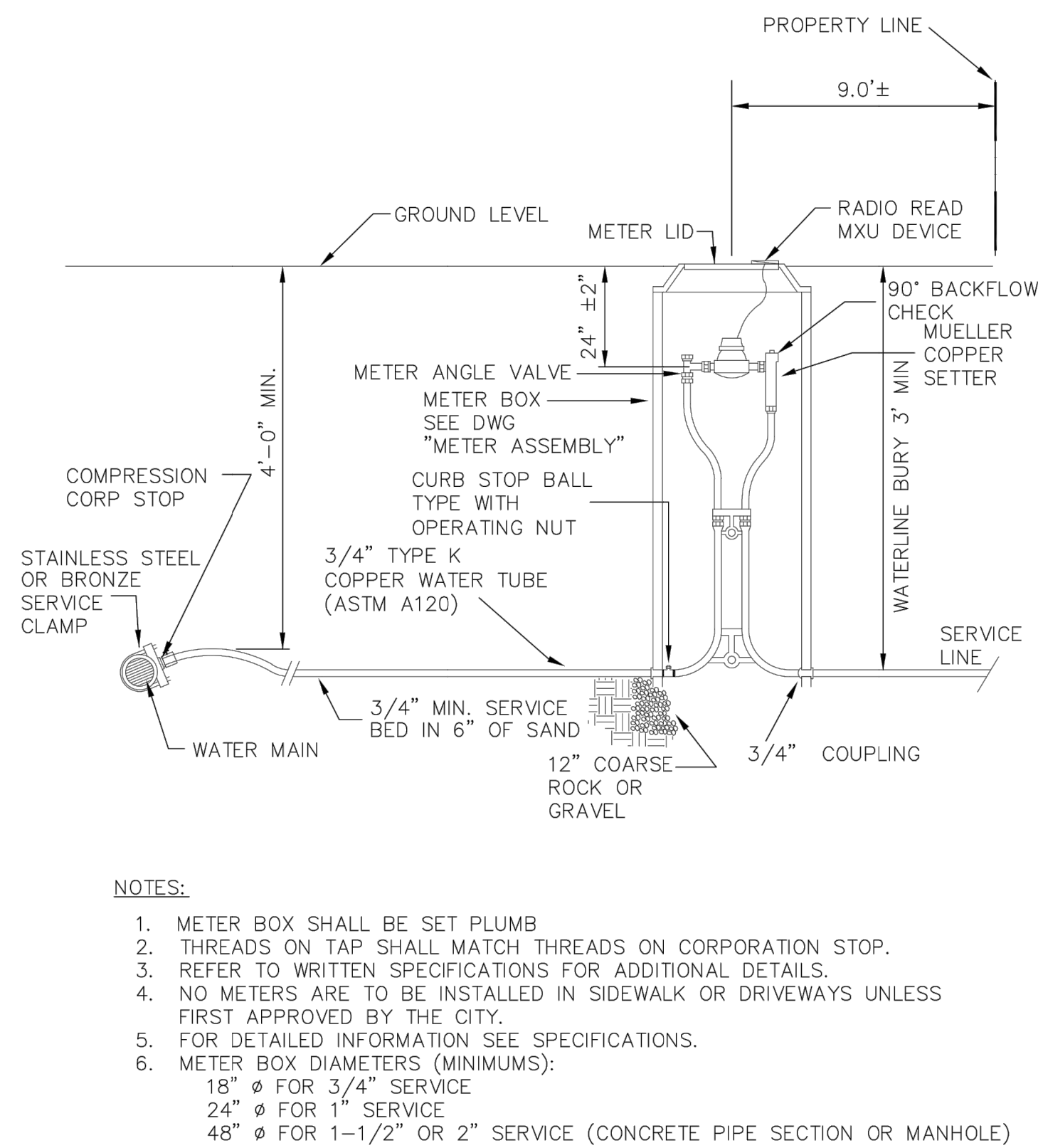
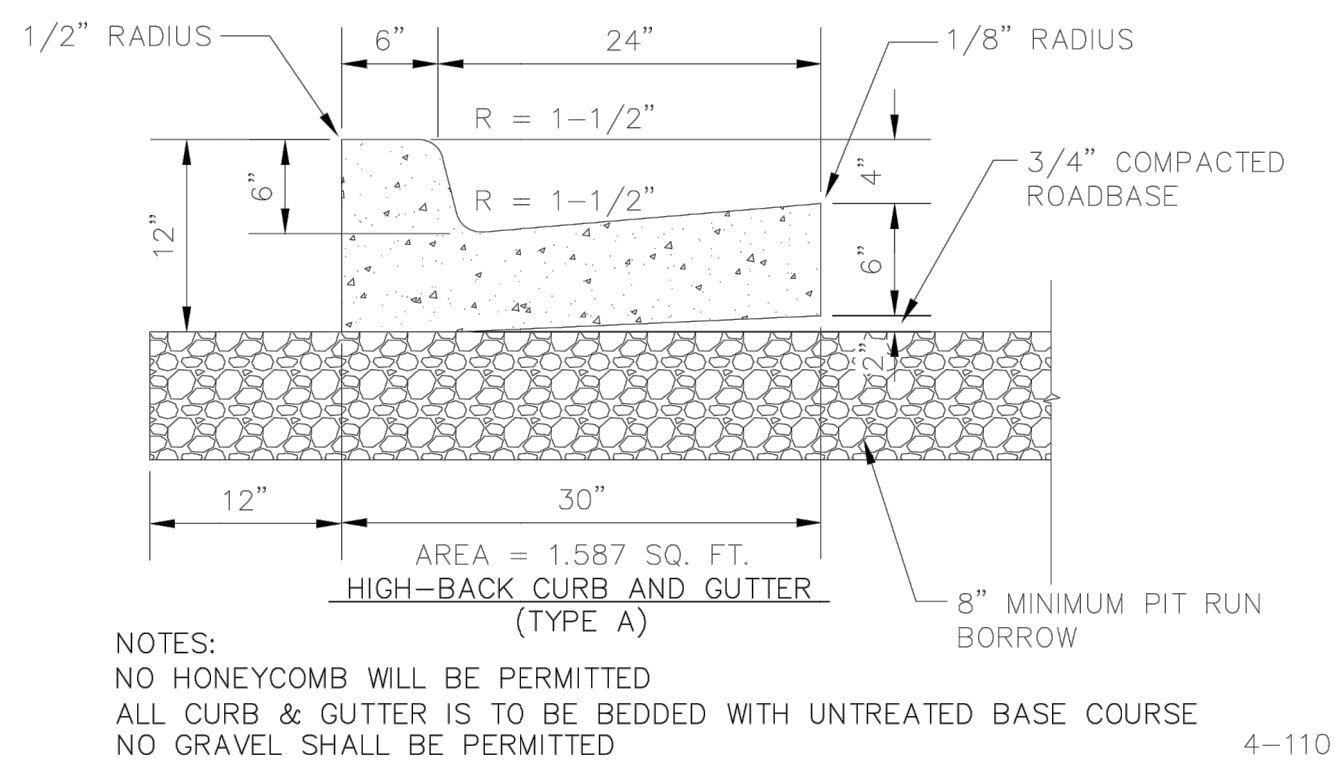
C-501

An advertisement for Blue Stakes of Utah. On the left is a cartoon character of a yellow notepad with a face, wearing blue pants and holding a shovel. To the right, the text reads: "Know what's below." in a large, bold, black font. Next to it is a graphic of a shovel with the number "811" in green on its handle. Below this, it says "Call 811 before you dig." in a large, bold, black font. Underneath that is the company name "BLUE STAKES OF UTAH" in blue, followed by "UTILITY NOTIFICATION CENTER, INC." in black. The website "www.bluestakes.org" and the phone number "1-800-662-4111" are listed at the bottom.

MOUNTAIN VIEW ESTATES PHASE 2
STANDARD DETAILS
SCALE: NTS



NOTE: MAX 10' TOOLED CONTROL JOINTS, EXPANSION JOINTS AT 50 FEET UNLESS OTHERWISE APPROVED.

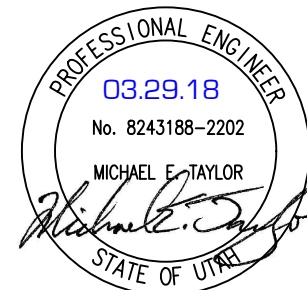


Know what's below. **811** before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, REDRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER.

MARK	DATE	DESCRIPTION
(1)	03/29/18	CHANGES PER CITY COMMENT
PROJECT #:	18-102	
DRAWN BY:	C. BOWN	
PROJECT MANAGER:	M. TAYLOR	
DESIGNED BY:	M. TAYLOR	
ISSUED:	03.29.18	



Mountain View Estates Phase 2

Concept Estimate

Civil Solutions Group, Inc.
540 W Golf Course Road, Suite B1, Providence, UT 84332
Providence, UT 84332
Date: March 19, 2018

Telephone 435-213-3762
mtaylor@civilsolutionsgroup.net

	Description	Quantity	Unit	Amount	Total Amount
General					
1	Mobilization and Site Clean-up	1	LS	\$2,500.00	\$2,500.00
2	Installation and Maintenance of Rock Tracking Pad	1	LS	\$900.00	\$900.00
3	Clear and Grub	69,174	SF	\$0.10	\$6,917.40
4	Install 6" On-Site Topsoil	312	CY	\$16.00	\$4,993.19
5	12" Import Granular Borrow Fill under asphalt & Curb (1-ft beyond curb)	1,634	CY	\$7.50	\$12,257.78
6	4" Untreated Road Base Fill under asphalt and curb (1-ft beyond curb)	44,128	SF	\$0.35	\$15,444.80
7	3" Asphalt	35,746	SF	\$1.15	\$41,107.90
8	4" Thick Concrete Sidewalk w/ 4" Gravel	10,614	SF	\$3.00	\$31,842.00
9	ADA Ramps	4	EA	\$250.00	\$1,000.00
10	30" Concrete Curb and Gutter w/ 4" Gravel Base	2,203	LF	\$11.00	\$24,233.00
SUBTOTAL GENERAL					\$141,196.06
Water Line					
1	Connect to Existing Water System	3	EA	\$1,000.00	\$3,000.00
2	8" AWWA C900 DR14 Water Line (Includes all tees, valves, bedding, trenching, backfill, thrust blocking, etc)	850	LF	\$30.00	\$25,500.00
3	10" AWWA C900 DR14 Water Line (Includes all tees, valves, bedding, trenching, backfill, thrust blocking, etc)	597	LF	\$35.00	\$20,895.00
4	Fire Hydrant and Assembly (includes 6" valve and tee)	2	EA	\$4,500.00	\$9,000.00
5	6" AWWA C900 DR14 Water Line to Hydrants (Includes all tees, valves, bedding, trenching, backfill, thrust blocking, etc)	20	LF	\$24.00	\$480.00
6	1" Water Service	16	EA	\$1,700.00	\$27,200.00
SUBTOTAL WATER LINE					\$86,075.00
Sewer Line					
1	Connect to Existing Sewer Manhole	2	EA	\$1,000.00	\$2,000.00
2	10" PVC Sewer Line (Includes all bedding, trenching, backfill, etc.)	300	LF	\$45.00	\$13,500.00
3	8" PVC Sewer Line (Includes all bedding, trenching, backfill, etc.)	302	LF	\$39.50	\$11,929.00
4	4" Sewer Service	16	EA	\$1,000.00	\$16,000.00
SUBTOTAL SEWER LINE					\$43,429.00
Irrigation Line					
1	6" PVC (160 psi) Irrigation Pipe (Includes all valves, bedding, backfill, tees, bends, thrust blocking, etc)	407	LF	\$24.00	\$9,768.00
2	1" PVC Poly Irrigation Service	16	EA	\$800.00	\$12,800.00
3	Connect to Existing Irrigation System	2	EA	\$1,000.00	\$2,000.00
SUBTOTAL IRRIGATION LINE					\$24,568.00
Utility Work					
1	Power Conduit, Trenching (for Power, Cable, Phone), Bedding, & Backfill (estimated length)	2,260	LF	\$4.00	\$9,040.00
2	4" Schedule 40 Conduit w/Labor (estimated length)	2,260	LF	\$2.35	\$5,311.00
SUBTOTAL UTILITY WORK					\$14,351.00
Miscellaneous					
1	Materials Testing (Per Contractor)	1	LS	\$2,000.00	\$2,000.00
SUBTOTAL MISCELLANEOUS					\$2,000.00
SUBTOTAL					\$311,619.06
CONTINGENCY (5%)					\$15,580.95
GRAND TOTAL					\$327,200.02

Created by: M. Taylor

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Description	Quantity	Unit	Amount	Total Amount
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